

LEAVENWORTH COUNTY PLANNING COMMISSION

Agenda for the Regular Meeting of 6:00 P.M., Wednesday, February 10, 2021
County Courthouse - 300 Walnut Street - Leavenworth, Kansas 66048
www.leavenworthcounty.gov

Due to limited seating anyone wishing to attend will need to call 913-684-0465 before noon on Tuesday, February 9th. Attendees will be required to wear a mask.
We encourage everyone to view the meeting live via YouTube

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Roll Call**
4. **Approval of Minutes**
5. **Secretary's Report**
6. **Approval of Agenda**
7. **Declarations: (if necessary)**
 - A. Declarations of receipt of communications by Planning Commissioners
 - B. Disclosure of ex-parte communications for each hearing item
 - C. Declarations of abstention from specific agenda items by a Commissioner
8. **Consent Agenda**
 - A. **Case DEV-20-150 & 151 (Hedgebrook Subdivision)**
Consideration of a Preliminary and Final Plat for Hedgebrook Subdivision, a three-lot plat, on a tract of land in the Southeast ¼ of Section 14, Township 10 South, Range 22 East of the 6th P.M. in Leavenworth County, Kansas.
Also known as 00000 147th Street (156-14-0-00-00-011.00)
Request submitted by Hahn Surveying
 - B. **Case DEV-20-152 & 153 (Guenther and Barker Estates)**
Consideration of a Preliminary and Final Plat for Guenther and Barker Estates, a two-lot plat, on a tract of land located in the Southeast quarter of Section 33, Township 9 South, Range 22 East of the 6th PM, Leavenworth County, Kansas.
Also known as 16684 McIntyre Road (108-33-0-00-00-018.00)
Request submitted by Herring Surveying
 - C. **Case DEV-20-154 & 155 (Tiner Acres)**
Consideration of a Preliminary and Final Plat for Tiner Acres, a two-lot plat, on a tract of land in the Southwest quarter of Section 5, Township 11 South, Range 22 East of the 6th PM in Leavenworth County, Kansas.
Also known as 19050 182nd Street (183-05-0-00-00-010.02)
Request submitted by Herring Surveying

D. Case DEV-20-156 & 157 (Sammons Estates)

Consideration of a Preliminary and Final Plat for Sammons Estates on a tract of land located in the west half of the Northeast ¼ of Section 17, Township 9, Range 22 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as 17344 Eisenhower Road (104-17-0-00-00-002.00)

Request submitted by Herring Surveying Company

9. Regular Agenda

A. Case DEV-20-147 (CoolHeat KC)

Consideration of an application for a Special Use Permit for CoolHeat KC, a HVAC repair service, located on a tract of land in the Southeast 1/4 of Section 27, Township 11, Range 22 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as 15890 Linwood Road (187-27-0-00-00-004.03)

Request submitted by Richard Rogers

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

B. Case DEV-20-158 (Polhemus Mechanic) – (Continued to March 10, 2021)

Consideration of an application for a Special Use Permit for Polhemus Mechanic, an Automotive Repair Service, located on Lot 7 in Hidden Meadows Subdivision Phase 1, in Leavenworth County, Kansas.

Also known as 17405 Gatewood Street (103-08-0-00-00-015.06)

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

C. Case DEV-20-159 (Bed and Breakfast)

Consideration of an application for a Special Use Permit for a Bed & Breakfast located on a tract of land in the Southeast ¼ of Section 18, Township 9 South, Range 22 East of the 6th P.M. in Leavenworth County Kansas.

Also known as: 18131 Eisenhower Road (104-18-0-00-00-023.01)

Request submitted by Douglas and Kendra DeLashmutt

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

D. Case DEV-21-002 (FreeState Electric Solar Farm)

Consideration of an application for a Special Use Permit for an electrical substation for FreeState Electric Solar Farm on a tract of land located in the Southeast ¼ of Section 26, Township 10 South, Range 2 East of the 6th P.M, Leavenworth County, Kansas.

Also known as: 00000 Tonganoxie Drive (147-26-0-00-00-014.07)

Request submitted by FreeState Electric Cooperative

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

E. Case DEV-20-149 (Rezone – McCall)

Consideration of an application for a rezoning request from RR-5 zoning district to the RR-2.5 zoning district on a tract of land located in the Northeast Quarter of Section 4, Township 10 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas.

Also known as: 16421 McIntyre Road (152-04-0-00-00-001.02)

Request submitted by Herring Surveying

*****Public Hearing Required*****

*****Public Comment limited to three minutes per person*****

E. Case DEV-20-160 (Text Amendment) – (Continued to March 10, 2021)

Consideration of an application to consider Amendments to the 2006 Leavenworth County Zoning and Subdivision Regulations:

Article – 3 Definitions – Private Roads

Article – 18 Planned Zoning Districts

Article – 27 Site Plan Development

*****Public Hearing Required*****

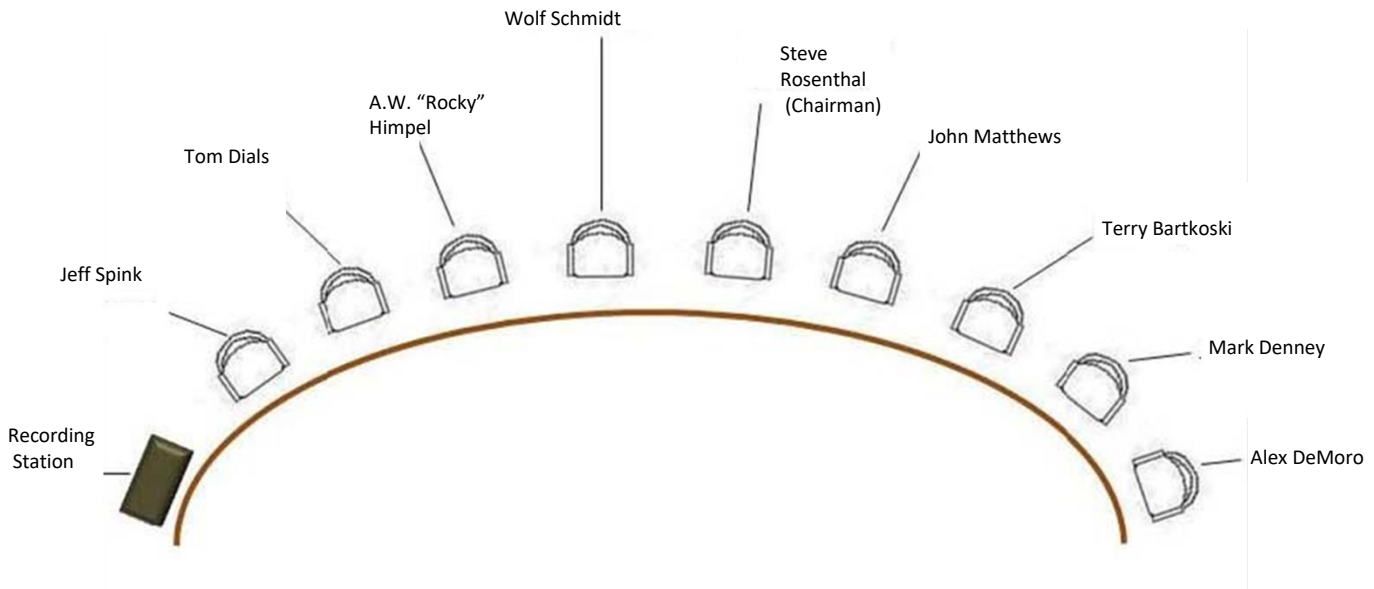
*****Public Comment limited to three minutes per person*****

Adjournment of Planning Commission

Next meeting date:

Wednesday, March 10, 2021 – Regular Planning Commission Meeting

Planning Commission Seating Chart 2021



For More Information

If you have any questions or need to make special arrangements for a meeting
Please call or stop by the Planning & Zoning Dept.
Contact Stephanie Sloop – (913)-684-0465

Leavenworth County Planning Commission

February 10, 2021

Legend

- RR-2.5
- RR-5
- B-1; B-2; B-3
- I-1; I-2; I-3
- PUD; R-1; R-1(15); R-1(43); R-2

DEV-20-156 & 157
Preliminary & Final Plat
Sammons Estates

DEV-20-159
SUP: The Barn
Bed & Breakfast

DEV-20-149
Rezone: RR-5
to RR-2.5

DEV-20-152 & 153
Preliminary & Final Plat
Guenther & Barker

DEV-20-150 & 151
Preliminary & Final Plat
Hedgebrook Subdivision

DEV-21-002
SUP: Freestate Electric
Solar Farm

DEV-20-154 & 155
Preliminary & Final Plat
Tiner Acres

DEV-20-147
SUP: CoolHeat KC
HVAC



*****Consent Agenda*****
Case No. DEV-20-150/151
Hedgebrook Subdivision
Preliminary and Final Plat

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Joyce Haas
22303 147th Street
Basehor, KS 66007

Agent: Hann Surveyor

Legal Description: A tract of land in the southeast ¼ of Section 14, Township 10South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 22111 147th Street, located ¼ mile north of Hollingsworth Road.

Parcel Size: ± 19

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential 3 units/acre land use category.

Parcel ID No.: 156-14-0-00-00-011.01

Planner: Krystal A. Voth

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a three-lot lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size. Falcon Lakes Subdivision is approximately ¼ mile to the southeast of the parcel.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0241G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fairmount
Water: RWD 1
Electric: Evergy

Access/Streets

The property is accessed by 147th street. This road is a County arterial with a hard surface ± 36' wide.

Agency Comments

See attached comments – Memo – Olsson – Public Works, January 27, 2021
See attached comments – Memo – Mike Fulkerson – Rural Water District 1, January 8, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5-acre minimum size parcels
2. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
3. The water district currently has adequate infrastructure to supply water to the lots within this subdivision and also can provide fire protection.
4. The proposed subdivision is in conformance with the comprehensive plan since sanitary sewer is not available at this time. This area has been identified by the City of Basehor as being serviceable by gravity sewer, however, the closest sewer connection is 2,800 from the property.

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff Comments

The applicant is requesting a three-lot subdivision located north of 147th and Hollingsworth Road. The proposed lots are each approximately 6.5 acres and meet the current zoning district requirements. The City of Basehor is located approximately ¼ mile to the southeast of the property. The City indicates that this area is located within their future development area. However, gravity sewer is 2,800 feet away. Under current County policy, parcels which lie outside of 660 feet of the incorporated boundary of a city are not required to obtain city services. The three-lot plat, as presented, meets the zoning district regulations and will not hinder future growth of the City of Basehor. Staff recommends that if future development of this parcel were to occur that careful consideration be given to requiring the developer work with city staff to extend sanitary sewer. Staff recommends approval of the plat as presented.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-150/151, Preliminary and Final Plat for Hedgebrook Subdivision, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. The applicant shall adhere to the following memorandums:
 - a. Olsson – Public Works, January 27, 2021
 - b. Mike Fulkerson- Rural Water District 1, January 8, 2021
4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
5. Fire hydrants shall be installed at the time of development if adequate infrastructure exists.
6. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

ACTION OPTIONS:

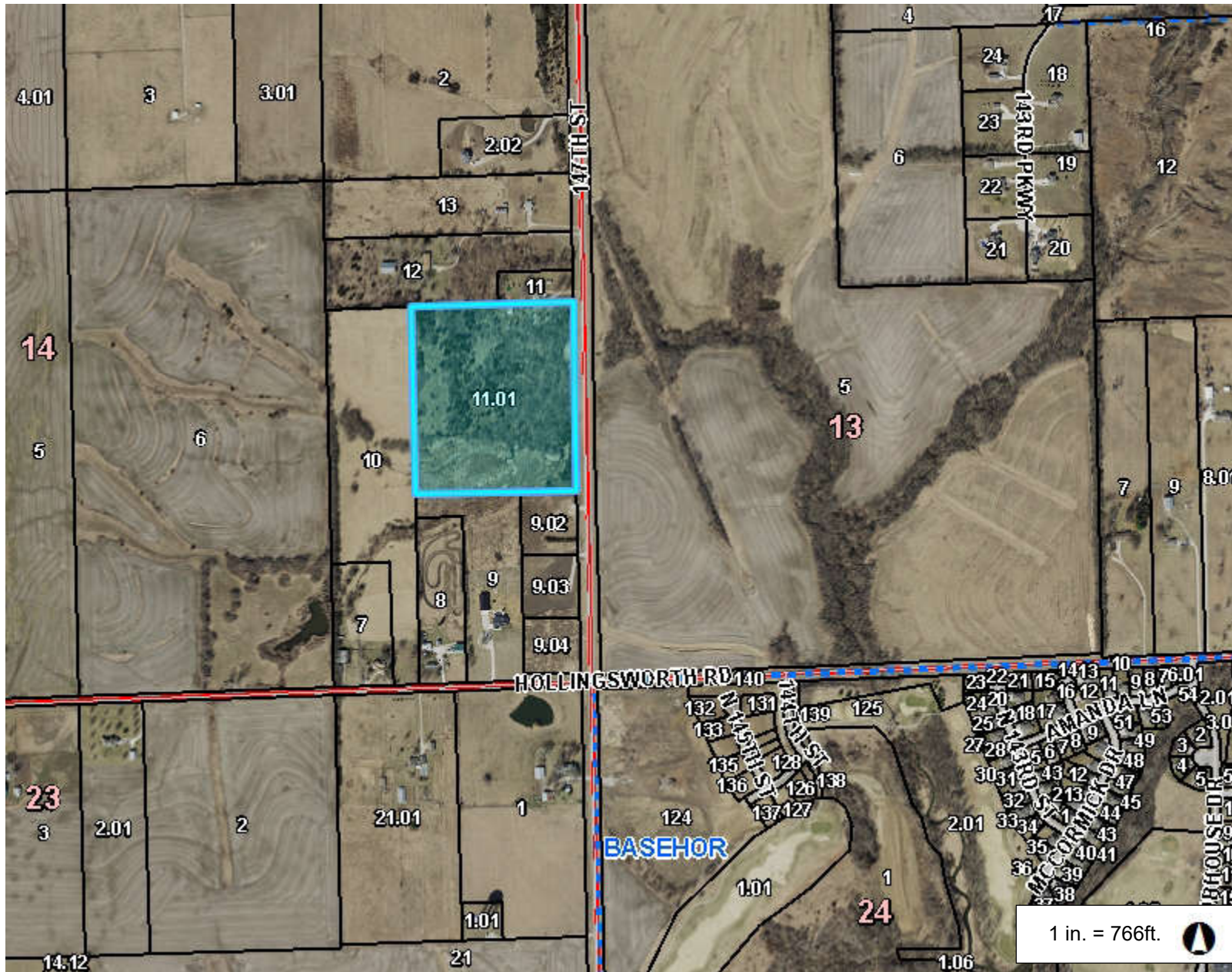
1. Recommend approval of Case No DEV-20-150/151, Preliminary and Final Plat for Hedgebrook Subdivision, to the Board of County Commission, with or without conditions; or

2. Recommend denial of Case No. DEV-20-150/151, Preliminary and Final Plat for Hedgebrook Subdivision, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place because;

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

Hedgebrook Subdivision



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Section
- Section Boundaries

Notes

1,531.7 0 765.85 1,531.7 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

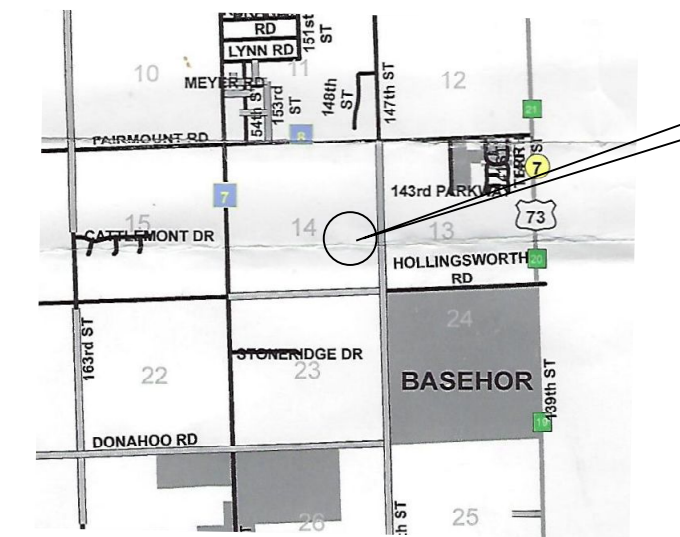
THIS MAP IS NOT TO BE USED FOR NAVIGATION

HEDGEBROOK SUBDIVISION

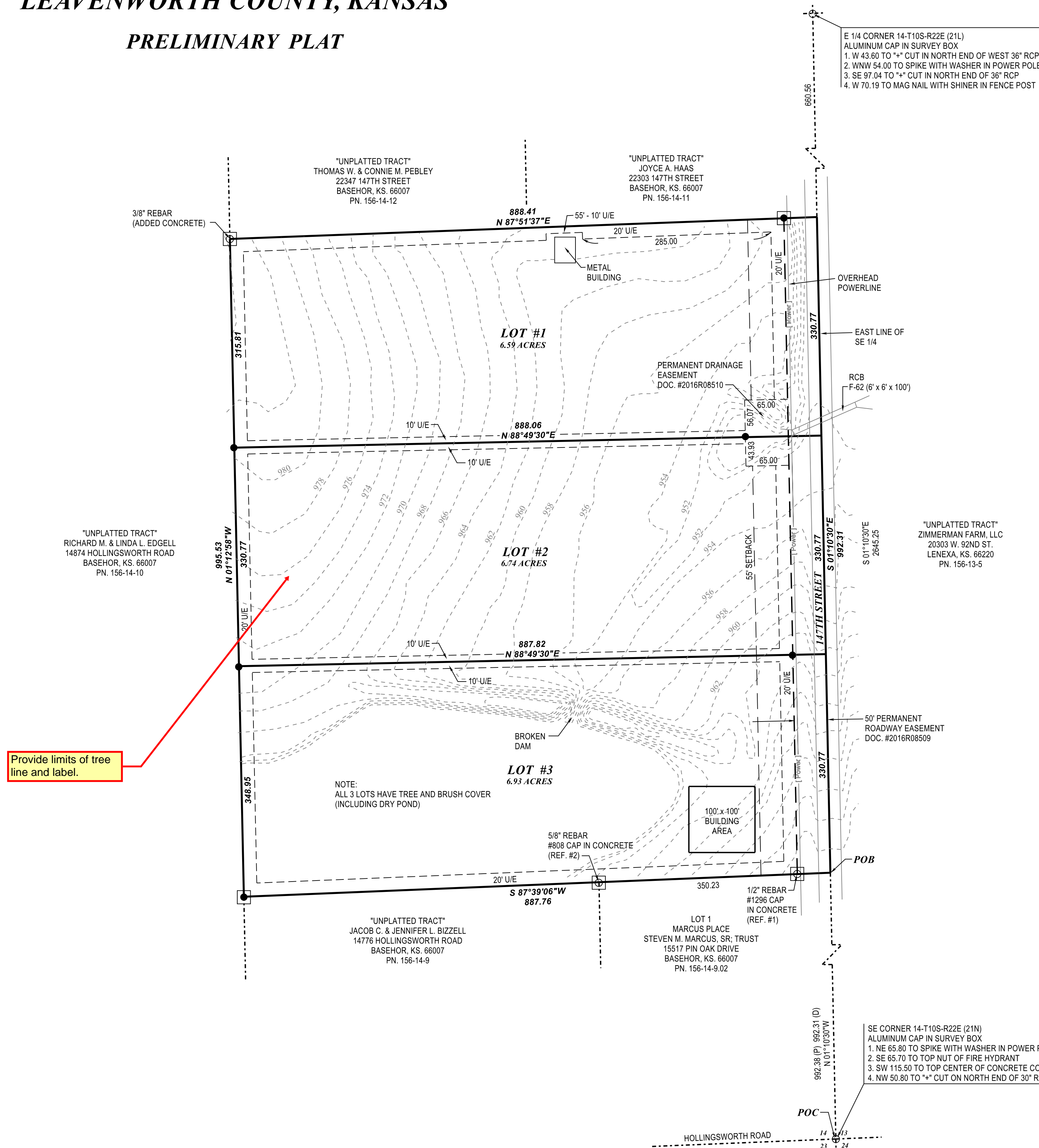
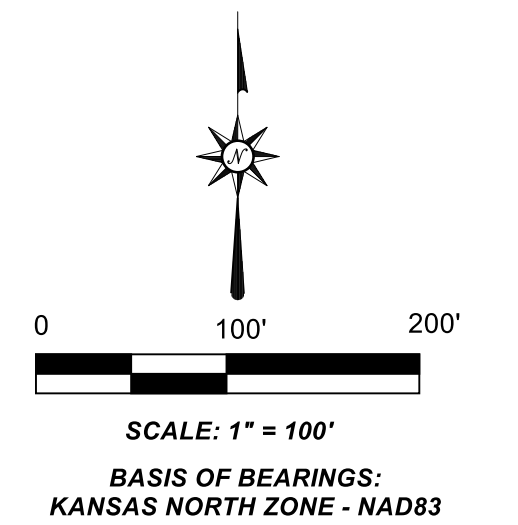
TRACT IN THE SOUTHEAST QUARTER
SECTION 14-T10S-R22E OF THE 6TH P.M.,
LEAVENWORTH COUNTY, KANSAS

PRELIMINARY PLAT

01-27-21
OLSSON REVIEW



LOCATION MAP
NO SCALE



Provide limits of tree line and label.

Include the restrictions from the final plat.

SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 14-T10S-R22E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE, N 01°10'30"W, 992.38 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, S 87°39'06"W, 887.76 FEET; THENCE, N 01°12'58"W, 995.53 FEET; THENCE, N 87°51'37"E, 888.41 FEET TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE, S 01°10'30"E, 992.31 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING. CONTAINS 20.26 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY.

OWNER

JOYCE A. HAAS
22303 147TH STREET
BASEHOR, KANSAS 66007
(913) 221-5761

ROAD INFORMATION

COUNTY COLLECTOR - 34' WIDE ASPHALT PAVING

DRAINAGE CALCULATIONS

ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

PUBLIC IMPROVEMENT

NONE

UTILITIES

WATER / CONS. R.W.D. #1
ELECTRIC / EVERGY
GAS / PROPANE
SEWAGE / PRIVATE ON SITE SYSTEM

ZONING

RR - 2.50
EXISTING & PROPOSED USE - RESIDENTIAL

REFERENCES

- MARCUS PLACE PLAT (2017)
- S-15, #7 (2001)

BENCHMARK

TOP LID OF SURVEY BOX AT THE SE CORNER OF SECTION 14-T10S-R22E
EL. 968.92 (NAVD 88)

NOTES

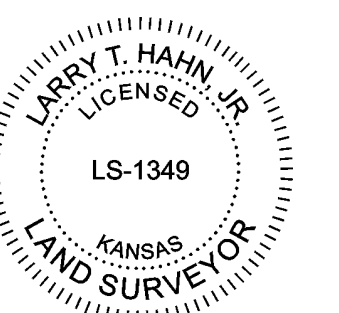
- THIS SUBDIVISION IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. FEMA MAP 20103C0241G, DATED 07/16/2015
- LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
- TITLE REPORT PROVIDED LAWYERS TITLE OF KANSAS, INC. CASE #34095

EASEMENT DEDICATION

AN EASEMENT OR LICENSE TO ENTER UPON, LOCATE, CONSTRUCT AND MAINTAIN OR AUTHORIZE THE LOCATION, CONSTRUCTION OR MAINTENANCE AND USE OF CONDUITS, WATER, GAS, SEWER PIPE, POLES, WIRES, DRAINAGE FACILITIES, DUCTS, CABLES AND SIMILAR FACILITIES, UPON, OVER AND UNDER THESE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS UTILITY EASEMENT OR U/E IS HEREBY GRANTED TO LEAVENWORTH COUNTY, KANSAS WITH SUBORDINATE USE OF THE SAME BY OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES AS MAY BE AUTHORIZED BY STATE LAW TO USE SUCH EASEMENT FOR SAID PURPOSES.

LEGEND

- 1/2" x 24" REBAR SET WITH #1349 CAP
- SURVEY MONUMENT FOUND (AS NOTED)
ORIGIN UNKNOWN, UNLESS REFERENCED
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
- (D) DEEDED
- (P) PLATTED



LARRY T. HAHN, LS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF DECEMBER, 2020, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.S.A. 74-7037.

HAHN SURVEYING
PO BOX 41
LANSING, KANSAS 66043
(913) 547-3405
hahnsurvey@gmail.com



Consolidated Water District #1

Leavenworth County, Kansas

P.O. Box 419, 15520 Crestwood Dr. Basehor, KS 66007 (913)-724-7000 - Office (913)-724-1310 - Fax www.crw1.com

January 8, 2021

Krystal Voth, CFM
Director
Leav. Co. Planning & Zoning
300 Walnut
Leavenworth, KS 66048

Re: Hedgebrook Subdivision

Dear Ms. Voth,

The above-mentioned plat is in the service area of Consolidated Water District #1.

After reviewing the plat, the Water District makes the following comments;

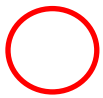
1. The Water District will serve the domestic and fire flow needs of the proposed development from an existing 12-inch water main located on the east side of 147th St. (see attached map).
2. Fire hydrants are located north and south from the proposed plat (red dots on attached map). The fire hydrant north of the proposed development is approximately 450 feet north of the north property line of the development, and the fire hydrant south, is approximately 400 feet south of the south property line. If additional fire hydrants are needed, they can be added to the 12-inch water main, at the developer's expense.
3. The Water District does not have any future plans of replacing/upgrading the water lines in the area of the proposed plat.
4. Any water main extensions needed to serve the proposed lots of the development will be at the developer's expense and shall follow the water districts design standards.
5. Any future customers shall follow the policies for new connections in place at the time of need.

Should you have further questions or comments, please feel free to contact us at your convenience. We are certainly looking forward to serving this development and its future homeowners.

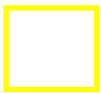
Respectfully,

Mike Fulkerson
Operations Manager

Cc; file



Fire Hydrant Location

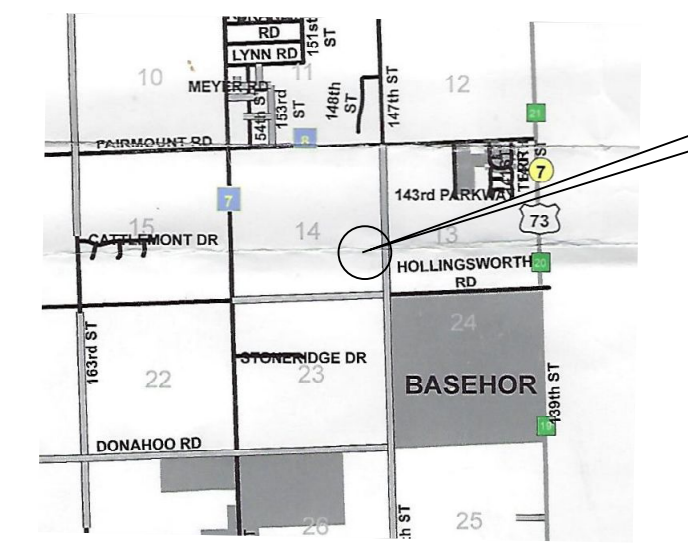


Property Line of Subdivision

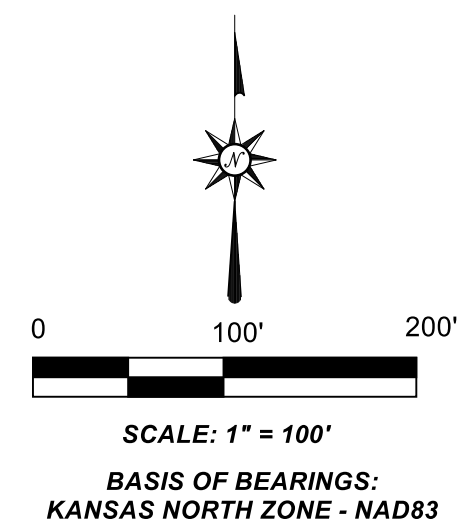
HEDGEBROOK SUBDIVISION

TRACT IN THE SOUTHEAST QUARTER
SECTION 14-T10S-R22E OF THE 6TH P.M.,
LEAVENWORTH COUNTY, KANSAS

FINAL PLAT



LOCATION MAP
NO SCALE



LEGEND

- 1/2" x 24" REBAR SET WITH #1349 CAP
- SURVEY MONUMENT FOUND (AS NOTED)
ORIGIN UNKNOWN, UNLESS REFERENCED
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
- (D) DEEDED
- (P) PLATTED

OWNER INFORMATION

JOYCE A. HAAS
22303 147TH STREET
BASEHOR, KS. 66007

NOTES

1. THIS SUBDIVISION IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. FEMA MAP 20103C0241G, DATED 07/16/2015
2. LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE.
3. EXISTING USE OF AREA BEING PLATTED - AGRICULTURAL PROPOSED USE - RESIDENTIAL
4. TITLE REPORT PROVIDED BY LAWYERS TITLE OF KANSAS, INC. CASE #34095

RESTRICTIONS

1. 40' REAR SETBACK FOR RESIDENCES
15' REAR SETBACK FOR ACCESSORY BUILDINGS
15' SIDE SETBACK
2. AN ENGINEERED WASTEWATER DISPOSAL SYSTEM MAY BE REQUIRED DUE TO POOR SOIL CONDITIONS.
3. EROSION CONTROL SHALL BE USED WHEN DESIGNING AND CONSTRUCTING DRIVEWAYS.
4. A FORM OF SEDIMENT CONTROL SHALL BE INSTALLED BEFORE WORK BEGINS AND MAINTAINED THROUGHOUT THE TIME THAT THE LAND DISTURBING ACTIVITIES ARE TAKING PLACE.
5. RE-VEGETATION OF ALL DISTURBED SITES SHALL BE COMPLETED WITHIN 45 DAYS AFTER COMPLETION OF FINAL GRADING, WEATHER PERMITTING.
6. LOTS ARE SUBJECT TO THE CURRENT ACCESS MANAGEMENT POLICY RESOLUTION.

EASEMENT DEDICATION

AN EASEMENT OR LICENSE TO ENTER UPON, LOCATE, CONSTRUCT AND MAINTAIN OR AUTHORIZE THE LOCATION, CONSTRUCTION OR MAINTAINANCE AND USE OF CONDUITS, WATER, GAS, SEWER PIPE, POLES, WIRES, DRAINAGE FACILITIES, DUCTS, CABLES AND SIMILAR FACILITIES, UPON, OVER AND UNDER THESE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS UTILITY EASEMENT OR U/E IS HEREBY GRANTED TO LEAVENWORTH COUNTY, KANSAS WITH SUBORDINATE USE OF THE SAME BY OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES AS MAY BE AUTHORIZED BY STATE LAW TO USE SUCH EASEMENT FOR SAID PURPOSES.

STREET DEDICATION

ALL STREETS ON THE ACCOMPANYING PLAT AND NOT HERETOFORE DEDICATED TO PUBLIC USE ARE HEREBY SO DEDICATED.

REFERENCES

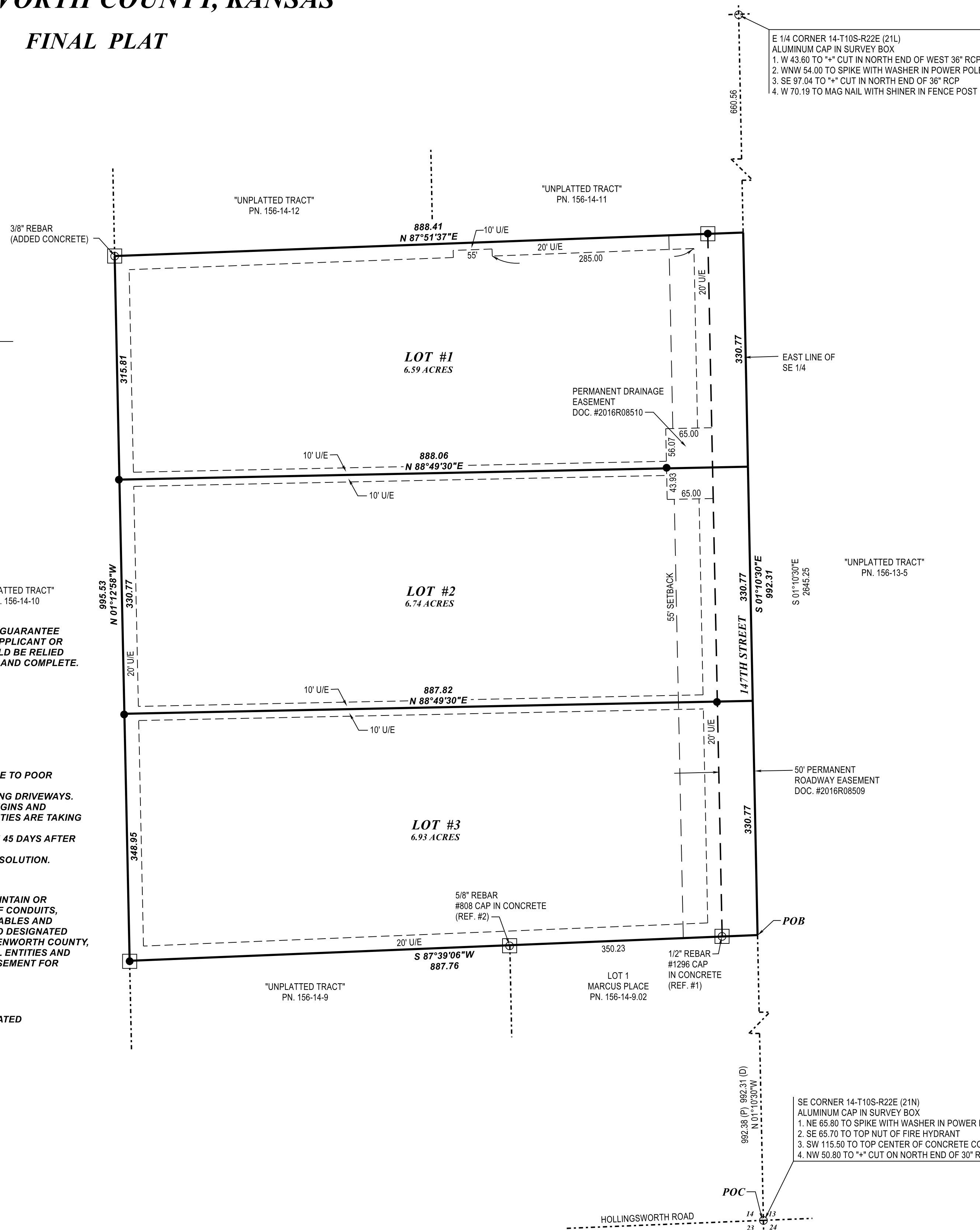
1. MARCUS PLACE PLAT (2017)
2. S-15, #7 (2001)

BENCHMARK

TOP LID OF SURVEY BOX AT THE
SE CORNER OF SECTION 14-T10S-R22E
EL. 968.92 (NAVD 88)

ZONING

RR - 2.50



E 1/4 CORNER 14-T10S-R22E (21L)
ALUMINUM CAP IN SURVEY BOX
1. W 43.60 TO "x" CUT IN NORTH END OF WEST 36" RCP
2. WNW 54.00 TO SPIKE WITH WASHER IN POWER POLE
3. SE 97.04 TO "x" CUT IN NORTH END OF 36" RCP
4. W 70.19 TO MAG NAIL WITH SHINER IN FENCE POST

SE CORNER 14-T10S-R22E (21N)
ALUMINUM CAP IN SURVEY BOX
1. NE 65.80 TO SPIKE WITH WASHER IN POWER POLE
2. SE 65.70 TO TOP NUT OF FIRE HYDRANT
3. SW 115.50 TO TOP CENTER OF CONCRETE CORNER POST
4. NW 50.80 TO "x" CUT ON NORTH END OF 30" RCP

SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 14-T10S-R22E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE, N 01°10'30"W, 992.38 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, S 87°39'06"W, 887.76 FEET; THENCE, N 01°12'58"W, 995.53 FEET; THENCE, N 87°51'37"E, 888.41 FEET TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE, S 01°10'30"E, 992.31 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING. CONTAINS 20.26 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY.

IN TESTIMONY WHEREOF

THE UNDERSIGNED PROPRIETOR STATE THAT ALL TAXES ON THE ABOVE DESCRIBED TRACT OF LAND HAVE BEEN PAID AND THAT SHE HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING PLAT WHICH SHALL BE KNOWN AS "HEDGEBROOK SUBDIVISION".

I, THE UNDERSIGNED OWNER OF "HEDGEBROOK SUBDIVISION" HAVE SET MY HAND THIS _____ DAY OF _____, 2021.

JOYCE A. HAAS

STATE OF KANSAS / COUNTY OF LEAVENWORTH

ON THIS _____ DAY OF _____, 2021, BEFORE ME APPEARED JOYCE A. HAAS, KNOWN TO ME TO BE THE SAME PERSON DESCRIBED HEREIN AND WHO EXECUTED THE SAME AS HER FREE ACT AND DEED. IN WITNESS THEREOF, I HAVE SET MY HAND AND AFFIXED MY NOTARIAL SEAL THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC

MY COMMISSION EXPIRES

APPROVAL

WE THE LEAVENWORTH COUNTY PLANNING COMMISSION, DO HEREBY APPROVE THE FOREGOING PLAT OF "HEDGEBROOK SUBDIVISION" THIS _____ DAY OF _____, 2021.

CHAIRPERSON / STEVE ROSENTHAL

SECRETARY / KRystal VOTH, CFM

THE LEAVENWORTH COUNTY ENGINEERS PLAT REVIEW IS ONLY FOR GENERAL CONFORMANCE WITH THE SUBDIVISION REGULATIONS AS ADOPTED BY LEAVENWORTH COUNTY. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, ELEVATIONS AND QUANTITIES.

COUNTY ENGINEER

WE THE BOARD OF COUNTY COMMISSIONERS OF LEAVENWORTH COUNTY, KANSAS, DO HEREBY APPROVE THE FOREGOING PLAT OF "HEDGEBROOK SUBDIVISION" THIS _____ DAY OF _____, 2021.

CHAIRPERSON / MICHAEL SMITH

COUNTY CLERK / JANET KLASINSKI (ATTEST)

COUNTY SURVEYOR CERTIFICATION

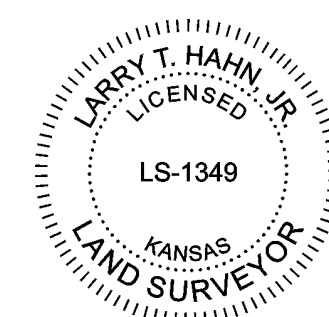
I HEREBY CERTIFY THIS PLAT MEETS THE REQUIREMENTS OF K.S.A. 58-2005. THE FACE OF THIS PLAT WAS REVIEWED BASED ON KANSAS MINIMUM STANDARDS FOR BOUNDARY SURVEYS. NO FIELD VERIFICATION IS IMPLIED. THIS REVIEW IS FOR SURVEY INFORMATION ONLY.

COUNTY SURVEYOR / WAYNE MALNICOF, LS

STATE OF KANSAS / COUNTY OF LEAVENWORTH

FILED FOR RECORD IN DOCUMENT # _____ ON THIS _____ DAY OF _____, 2021 AT _____ O'CLOCK _____ IN THE OFFICE OF THE REGISTER OF DEEDS, LEAVENWORTH COUNTY, KANSAS.

REGISTER OF DEEDS / TERRI LOIS MASHBURN



LARRY T. HAHN, LS #1349

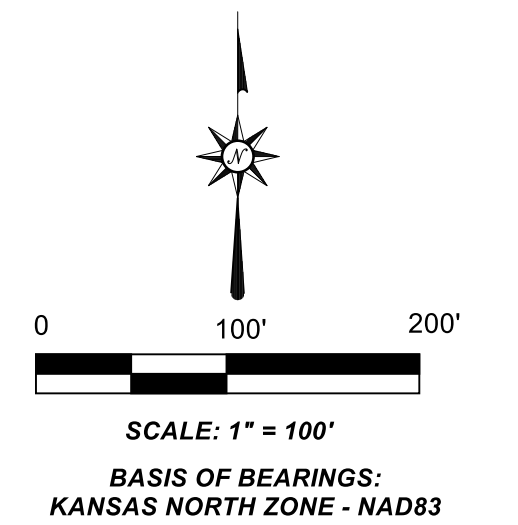
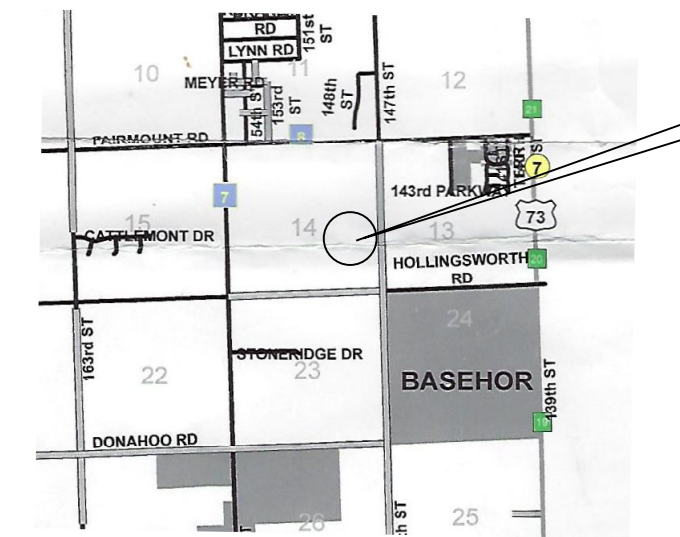
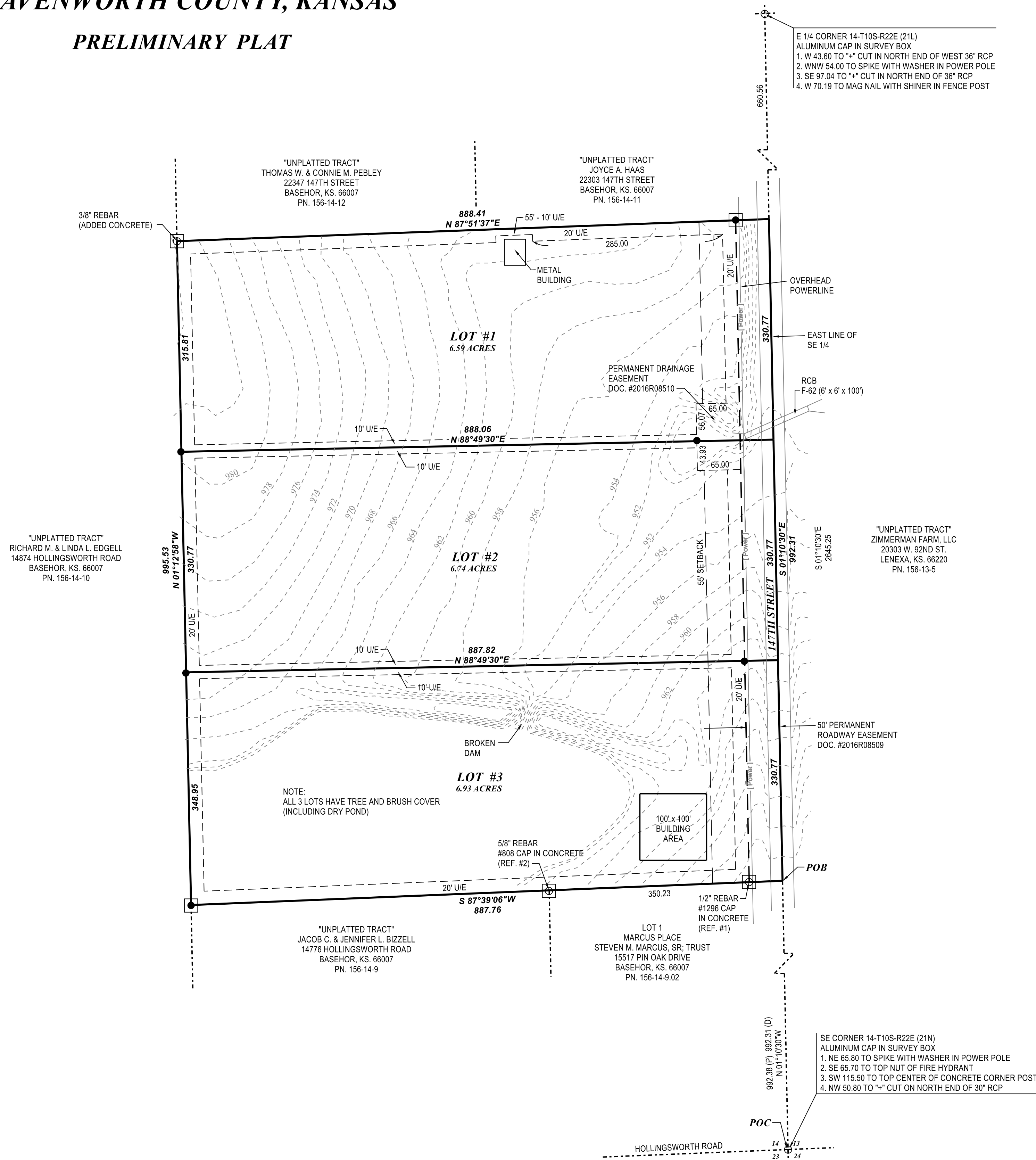
THIS IS TO CERTIFY THAT IN THE MONTH OF DECEMBER, 2020, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSANT TO K.S.A. 74-7037.

HAHN SURVEYING
PO BOX 41
LANSING, KANSAS 66043
(913) 547-3405
hahnsurvey@gmail.com

HEDGEBROOK SUBDIVISION

TRACT IN THE SOUTHEAST QUARTER
SECTION 14-T10S-R22E OF THE 6TH P.M.,
LEAVENWORTH COUNTY, KANSAS

PRELIMINARY PLAT



SURVEYORS DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 14-T10S-R22E OF THE 6TH P.M., LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS; COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE, N 01°10'30"W, 992.38 FEET ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING OF THIS TRACT; THENCE, S 87°39'06"W, 887.76 FEET; THENCE, N 01°12'58"W, 995.53 FEET; THENCE, N 87°51'37"E, 888.41 FEET TO THE EAST LINE OF SAID SOUTHEAST QUARTER; THENCE, S 01°10'30"E, 992.31 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING. CONTAINS 20.26 ACRES, MORE OR LESS, INCLUDING ROAD RIGHT OF WAY.

OWNER

JOYCE A. HAAS
22303 147TH STREET
BASEHOR, KANSAS 66007
(913) 221-5761

ROAD INFORMATION

COUNTY COLLECTOR - 34' WIDE ASPHALT PAVING

DRAINAGE CALCULATIONS

ON SEPARATE DOCUMENT BY DAVID LUTGEN, PE

PUBLIC IMPROVEMENT

NONE

UTILITIES

WATER / CONS. R.W.D. #1
ELECTRIC / EVERGY
GAS / PROPANE
SEWAGE / PRIVATE ON SITE SYSTEM

ZONING

RR - 2.50
EXISTING & PROPOSED USE - RESIDENTIAL

REFERENCES

- MARCUS PLACE PLAT (2017)
- S-15, #7 (2001)

BENCHMARK

TOP LID OF SURVEY BOX AT THE
SE CORNER OF SECTION 14-T10S-R22E
EL. 968.92 (NAVD 88)

NOTES

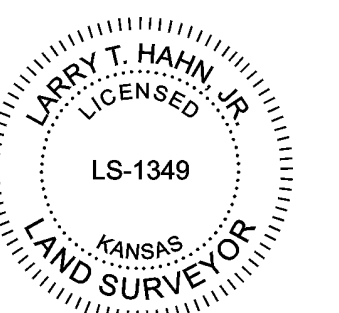
- THIS SUBDIVISION IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. FEMA MAP 20103C0241G, DATED 07/16/2015
- LEAVENWORTH COUNTY, KANSAS, DOES NOT REPRESENT, WARRANT OR GUARANTEE THAT THE DETAILS SHOWN ON THIS DOCUMENT AND PROVIDED BY THE APPLICANT OR ANY AGENT OF APPLICANT, INCLUDING ANY SURVEY INFORMATION SHOULD BE RELIED UPON BY ANY THIRD PARTY AS BEING WHOLLY OR PARTIALLY ACCURATE AND COMPLETE. TITLE REPORT PROVIDED LAWYERS TITLE OF KANSAS, INC. CASE #34095

EASEMENT DEDICATION

AN EASEMENT OR LICENSE TO ENTER UPON, LOCATE, CONSTRUCT AND MAINTAIN OR AUTHORIZE THE LOCATION, CONSTRUCTION OR MAINTAINANCE AND USE OF CONDUITS, WATER, GAS, SEWER PIPE, POLES, WIRES, DRAINAGE FACILITIES, DUCTS, CABLES AND SIMILAR FACILITIES, UPON, OVER AND UNDER THESE AREAS OUTLINED AND DESIGNATED ON THIS PLAT AS UTILITY EASEMENT OR U/E IS HEREBY GRANTED TO LEAVENWORTH COUNTY, KANSAS WITH SUBORDINATE USE OF THE SAME BY OTHER GOVERNMENTAL ENTITIES AND PUBLIC UTILITIES AS MAY BE AUTHORIZED BY STATE LAW TO USE SUCH EASEMENT FOR SAID PURPOSES.

LEGEND

- 1/2" x 24" REBAR SET WITH #1349 CAP
- SURVEY MONUMENT FOUND (AS NOTED)
ORIGIN UNKNOWN, UNLESS REFERENCED
- POB POINT OF BEGINNING
- POC POINT OF COMMENCING
- 1/2" x 24" REBAR SET WITH #1349 CAP IN CONCRETE
- (D) DEEDED
- (P) PLATTED



LARRY T. HAHN, LS #1349

THIS IS TO CERTIFY THAT IN THE MONTH OF DECEMBER, 2020, THIS SURVEY WAS MADE UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE "KANSAS MINIMUM STANDARDS" FOR BOUNDARY SURVEYS PURSUANT TO K.S.A. 74-7037.

HAHN SURVEYING
PO BOX 41
LANSING, KANSAS 66043
(913) 547-3405
hahnsurvey@gmail.com

*****Consent Agenda*****
Case No. DEV-20-152/153
Guenther & Barker Estates
Preliminary and Final Plat

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Brian Guenther
16684 McIntyre Road
Leavenworth, KS 66048

Agent: Herring Surveying

Legal Description: A tract of land in the Southeast quarter of Section 33, Township 9 South,
Ranger 22 East of the 6th PM, Leavenworth County, Kansas

Parcel Size: ± 20.23 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential land use category.

Parcel ID No.: 108-33-0-00-00-018.00

Planner: Jared Clements

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a two-lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C325G & 20103C350G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District 1
Water: RWD 8
Electric: Freestate

Access/Streets

The property is accessed by McIntyre Road. This road is a County road with a gravel surface ±22' wide.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, January 4, 2021
See attached comments – Email – Steve Tufte – County Reviewer, February 1, 2021
See attached comments – Email – David Van Parys – County Counselor, January 4, 2021
See attached comments – Email – Becky Fousek – Rural Water District 8, January 4, 2021
See attached comments – Email – Amanda Tarwater – Freestate Electric utility, December 31, 2020

Findings

1. The proposed subdivision is consistent with the zoning district of RR 5; Rural Residential Zoning 5-acre minimum size parcels and meets the lot-depth to lot-width ratio of 3.5:1 or 4:1, have the minimum frontage of 300', Minimum lot size of 5 acres.
2. The property is not within a sewer district boundary nor within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
3. The water district currently has adequate infrastructure to supply water to the lots within this subdivision but does not/cannot provide fire protection.
(See condition 5.)
4. The proposed subdivision is in accordance with the Comprehensive Plan.

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision. (See condition 4.)

Staff Comments

This is a 2-lot subdivision on McIntyre Road. The proposal is consistent with Zoning and Subdivision Regulations, as well as the comprehensive plan. Lot 1 is 5 acres and Lot 2 is 15.23 acres. Both lots are accessed via McIntyre Road.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-152 & 153, Preliminary and Final Plat for Guenther & Barker Estates, with the following conditions:

1. Building permits shall be required for any new construction.
2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
3. The applicant shall adhere to the following memorandums:
 - a. Mitch Pleak – Public Works, January 4, 2021
 - b. Becky Fousek – Rural Water District 8, January 4, 2021
 - c. Steve Tufte – County Reviewer, February 1, 2021
4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
5. At the time of development, fire hydrants shall be required if necessary infrastructure is available.
6. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-152 & 153, Preliminary and Final Plat for Guenther & Barker Estates, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-20-152 & 153, Preliminary and Final Plat for Guenther & Barker Estates to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place because;

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

Case No. DEV-20-147
CoolHeat KC
Special Use Permit – HVAC Repair Service
Public Hearing Required

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Richard Rogers
15890 Linwood Road
Bonner Springs, KS 66012

Legal Description: A tract of land in the southeast ¼ of Section 27, Township 11 South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 15890 Linwood Road

Parcel Size: ± 2.5 acres

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Rural Residential land use category.

Parcel ID No.: 188-27-0-00-00-004.03-0

Planner: Krystal A. Voth

REPORT:

Request

The applicant is requesting a Special Use Permit for an HVAC Repair service and for the limited storage of used HVAC systems while awaiting recycling.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C350G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fairmount
Water: RWD 7
Electric: Evergy

Access/Streets

The property is accessed by Linwood Road/K-32, a State-maintained highway.

Agency Comments

No agency comments were provided.

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Special Use Permit request:

1. Character of the neighborhood: The character of the neighborhood is rural; primarily rural residences, and agricultural uses along with a scattering of business uses. The Lake Stop convenience store is located directly east of the subject parcel and Performance Glass is located directly south of the subject parcel.

2. Zoning and uses of nearby property: Much of the surrounding area is zoned as Rural Residential-2.5. The corners of 158th and Linwood are zoned as B-3, and less than ¼ mile to the west of the subject property is a large subdivision which is zoned as a PUD.
3. Suitability of the property for the uses to which it has been restricted: The property is within an area suited for rural residences and agricultural use. The use is allowed with approval of a Special Use Permit.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: Currently, the applicant is storing materials on the property and the materials are not screened or enclosed. Several neighbors have complained about the storage of materials. Outdoor storage of these types of materials are not consistent with the rural residential zoning district. The proposed use does not cause any increase in traffic. The applicant has indicated he has plans to build a shop on the property to house the materials.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed use will provide income for the applicant.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential.
8. Staff recommendation is for the approval of Special Use Permit with conditions.

Staff Analysis

<u>LOCATION</u>	
Adjacent Residences	Adjacent residences are rural in nature and are primarily located on lots that are greater than 2.5 acres.
Adjacent Zoning/Uses	General zoning within the area is Rural Residential-2.5. The corners of 158 th Street and Linwood Road are zoned as B-3, along with two additional parcels. The subdivision of Bear Lake is to the west and is zoned as a PUD. There is a convenience store and a glass manufacturing business located within the direct vicinity of the proposed business.
Density	The area is not densely populated.
Nearby City Limits	The property is not located near an incorporated city limit.
Initial Growth Management Area	The property is not located within an initial growth management area.

<u>IMPACT</u>	
Noise Pollution	The proposed use will not create additional noise.
Traffic	The use will not create a measurable increase in traffic.
Lighting	The applicant does not have lighting other than security lighting and is not requesting lighting.
Outdoor Storage	The applicant currently stores limited HVAC units outside. A condition of the SUP is to build a shop that can house the units.
Parking	The applicant has ample parking space for employees.
Visitors/Employees	One employee comes to the site once a week. There are no customers.
Waste	A by-product of the business is the recycling of used HVAC systems. These systems shall be recycled per KDHE requirements.

<u>SITE COMPATABILITY</u>	
Size of Parcel	The parcel is 2.5 acres in size.
Zoning of Parcel	The parcel is zoned Rural Residential-2.5
Buildings (Existing & Proposed)	There are currently no accessory buildings on the property. The applicant proposed to build a shop.
Setbacks	Existing building meet the required setbacks.
Screening	There is no existing screening.

Site Visit

Staff visited the site in early January. At that time, there were several old units being stored along the driveway. The business, in the current state, does not conform to the rural residential nature of the area.

Complaints

Staff has received complaints regarding this business which is currently operating without a Special Use Permit.

Staff Comments

The applicant is currently operating an HVAC repair business out of his home. The primary concern of the business is not with the repair of units, which takes place off site. The applicant is currently storing used and discarded materials at his home. The applicant states that the units are recycled and properly disposed of, however there are currently several units stored outside along the driveway. The applicant has indicated plans to build a shop to house the materials.

The applicant indicates that one employee comes to the home approximately once per week. All services take place off site.

The recommendation of Staff is for a short-term approval of the Special Use Permit with a condition that an outbuilding be constructed to house any materials. In the event the applicant does not have the building constructed, the SUP should not be renewed. Further, the applicant should work closely with KDHE-Small Business/Pollution Prevention division to ensure all necessary protocols are being followed for the storage and recycling of materials.

STAFF RECOMMENDATION:

Staff recommends approval of DEV-20-147, Special Use Permit for CoolHeat KC subject to the following conditions:

1. The SUP shall be limited to a period of one year.
2. The applicant shall cause to have constructed an accessory building for the storage of all business-related equipment.
3. The applicant shall contact the Kansas Department of Health and Environment – Small Business/Pollution Prevention division to ensure all necessary protocols are being followed to ensure the safe storage of materials.
4. No signage is allowed in the right-of-way. No signage is requested with the SUP. All signage shall comply with Article 25, Sign Regulations of the Leavenworth County Zoning and Subdivision Regulations.
5. No on-street parking shall be allowed.
6. This SUP shall be limited to the Narrative dated December 7, 2020 submitted with this application.
7. This SUP shall comply with all local, state, and federal rules and regulations that may be applicable. After approval of this SUP by the Board of County Commission all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

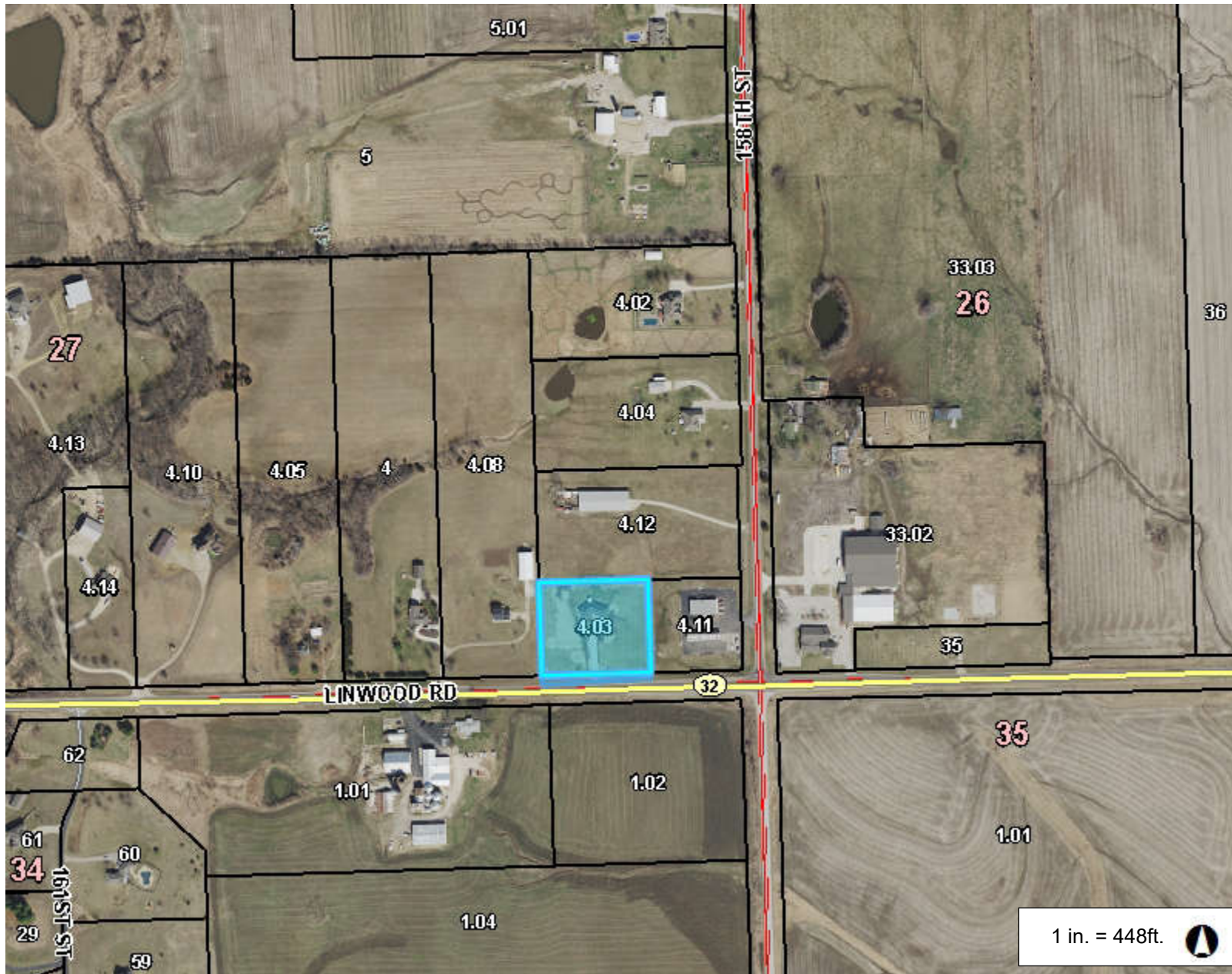
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-147, Special Use Permit for CoolHeat KC, to the Board of County Commission, with Findings of Fact, and with or without conditions; or
2. Recommend denial of Case No. DEV-20-147, Special Use Permit for CoolHeat KC, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:


Narrative
Location/Aerial Maps
Memorandums

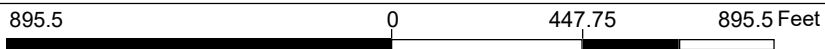
Cool Heat KC SUP



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 448ft. 



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



SPECIAL USE PERMIT APPLICATION

Leavenworth County Planning Department
300 Walnut, St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
913-684-0465

Office Use Only
PID: 188-27 004.03 Date Received: 12/7/20
Township Fairmount
Planning Commission Date: Feb 10, 2021
Case No. DEV-20-147 Date Paid 12/7/20
Zoning District RR-2.5
Comprehensive Plan land use designation Residential 2.5 Ac Min.

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>Richard E. Rogers II</u>	NAME _____
ADDRESS <u>15890 Linwood Road</u>	ADDRESS _____
CITY/ST/ZIP <u>Bonner Springs, KS</u> <u>66012</u>	CITY/ST/ZIP _____
PHONE <u>913-333-0493</u>	PHONE _____
EMAIL <u>RICKROGERS9800@GMAIL.COM</u>	EMAIL _____
CONTACT PERSON <u>RICHARDE.ROGERS#</u>	CONTACT PERSON _____

PROPOSED USE INFORMATION
Existing and Proposed structures N/A
Reason for requesting a Special Use Permit NOT SURE

PROPERTY INFORMATION
Address of property 15890 Linwood Road Bonner Springs, KS Parcel size 2 ACRES
Current use of the property HOME
Does the owner live on the property? YES
Does the applicant own property in states or counties other than Kansas and Leavenworth County? NO

I, the undersigned am the (circle one) owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a Special Use Permit as indicated above. I hereby agree to "cease and desist" the operation of the activity upon denial of the permit by the Board of County Commissioners.

Signature [Signature] Date 11/17/2020
ATTACHMENT A

August 27, 2020

Leavenworth County Planning Department
300 Walnut Street, Suite 212
County Courthouse
Leavenworth, KS 66048

To the Planning and Zoning Staff,

My wife and I own a small HVAC company. We do not have any office staff other than my wife and myself. I did not realize I'd need a special use permit to run a business from my home since I have no employees that work from my residence.

We do not have a store. We have one employee that comes to our house once or twice a week for an hour or so.

We do not anticipate any pedestrian traffic.

We do not have set hours of operation, as I am on call 24 hours a day, seven days a week.

We do not have signage on our home and we would not need to have outdoor displays.

We do not need sewage disposal or additional water for our business.

There would be no noise or sound, odor or fumes caused from the HVAC business.

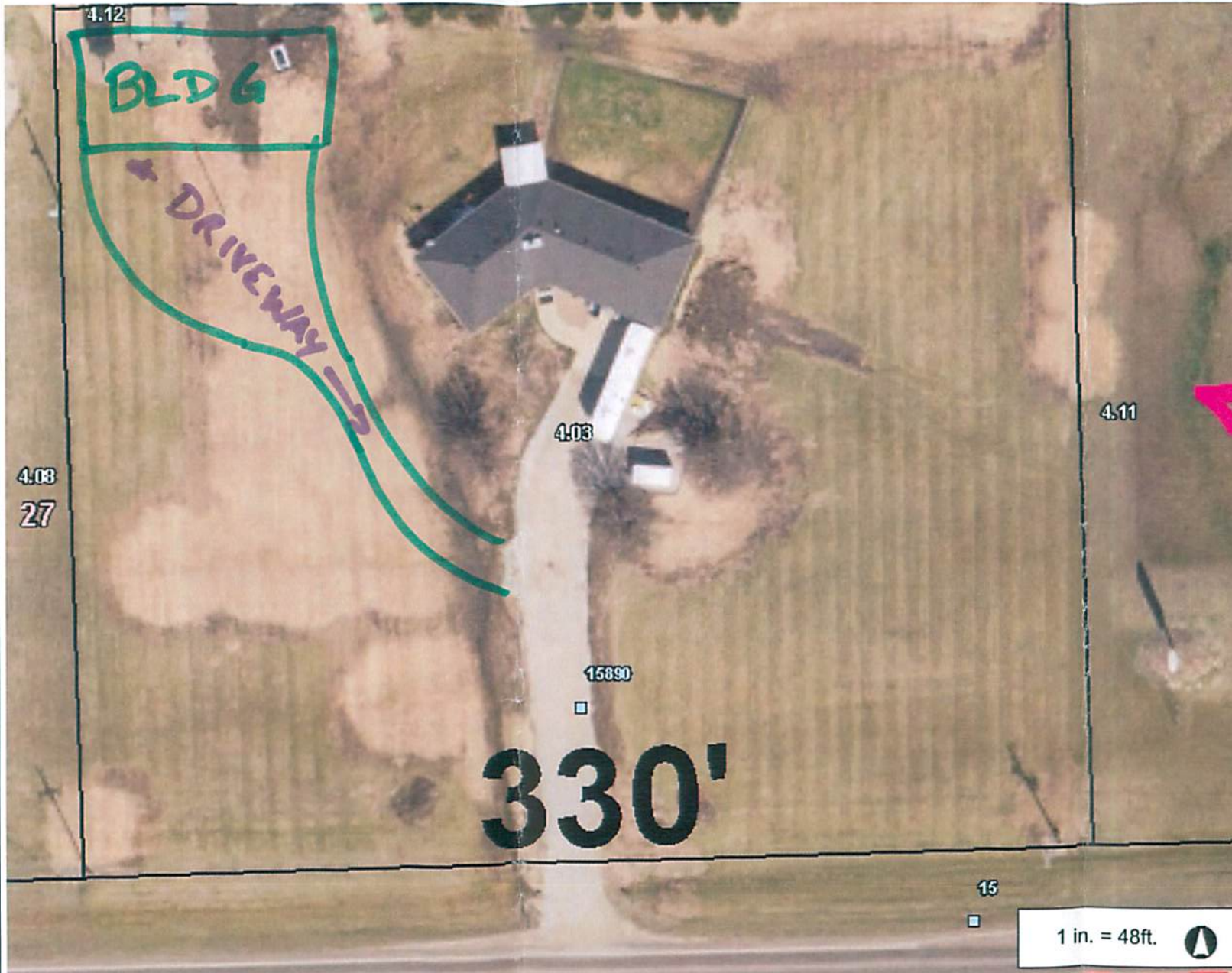
The only equipment that would be on the property would be old HVAC equipment for recycling. We have plans to put a building up on the property to store recycling and equipment for the HVAC business.

We do not have a need for additional parking or extra traffic that would be coming to our residence.

I'd be happy to answer any additional questions that you might have in the future.

Thank you,
Rick Rogers

Leavenworth County, KS



Legend

- Address Point
- Parcel Number
- Lot Line
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

Notes

96.2 0 48.12 96.2 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

LEAVENWORTH COUNTY DEVELOPMENT APPLICATION PERMIT

CASE NUMBER DEV-20-147

PERMIT SUB-TYPE SPECIAL USE PERMIT

PID 188-27-0-00-00-004.03 PARCEL SIZE 2.13 AC ZONE RR-2.5
TWSP FAIRMOUNT SCHOOL DIST 458 SDD NO
SUBDIVISION LOT NO BLOCK NO
WATER DIST RWD 7 ELECTRIC EVERGY SEWER DIST n/a
FLOOD PLAIN IN PARCEL NO FLOOD PLAIN ON BUILDING SITE NO
SITE ADDRESS 15890 Linwood Rd
SITE CITY Bonner Springs SITE STATE KS SITE ZIP CODE 66012

LAST NAME Rogers II FIRST NAME Richard PHONE 913-333-0493
EMAIL rickrogers9800@gmail.com
ADDRESS 15890 Linwood Rd
CITY Bonner Springs STATE KS ZIP CODE 66012

CONSULTANT CONSULTANT PHONE
CONSULTANT EMAIL

PROPOSED ZONING RR-2.5 SUP CATEGORY - USE Small Limited Business
VARIANCE REGULATION CURRENT USE RESIDENTIAL ROAD STATE
COMP PLAN USE DESIGNATION Residential 2.5ac Minimum UGMA

SUBDIVISION TYPE GROSS ACREAGE COVENANTS NO
MAXIMUM LOT SIZE MINIMUM LOT SIZE OPEN SPACE ACREAGE
LOTS TRACTS TOTAL PARCELS DENSITY

NOTES: CoolHeat KC, LLC.

STAFF	STAFF ACTION	[] PUBLIC HEARING	AGENDA AREA
PC	PC ACTION	PENDING	NOTICE PUB
BOCC	BOCC ACTION	PENDING	RESOLUTION PUB
BZA	BZA ACTION	DURATION	EXPIRATION

APPLICATION FEE \$400.00 TIF 0.00 BOND 0.00 TOTAL FEES \$400.00
CHECK NO 1035 [] CASH [] CC TIFF CHECK NO

STAFF APPROVAL  DATE 12/8/20

APPLICANT DATE

From: [Clements, Jared](#)
Sent: Friday, February 5, 2021 11:52 AM
To: [Clements, Jared](#)
Subject: FW: Guenther & Barker Estates REVISIONS
Attachments: Guenther Barker PRELIM.pdf; Guenther Barker FINAL.pdf; RR-33-9-22-11X-Guenther 2020.pdf; RR-33-9-22-11Z-2020.pdf; RR-33-9-22-13Z-2020.pdf; K-17-1142-2020 GUENTHER FINAL-Deed Report.txt

From: Clements, Jared
Sent: Tuesday, January 12, 2021 11:58 AM
To: 'Joe Herring' ; 'David Lutgen'
Cc: 'mpleak@olsson.com' ; Voth, Krystal ; Noll, Bill
Subject: Guenther & Barker Estates PZ & Olsson Review

Good Morning Joe,

Please find the attached reviews from Olsson, as well as the PZ review below for Guenther and Barker Estates. Please note we are awaiting the final plat surveyor-review from Public Works due to an oversight on my part. That being said, there should still be ample time to get final revisions in by January 29, 2021.

PZ review of Preliminary & Final Plat

- Please include adjacent PID's
- Adjust the name to reflect requested change (expected, just a reminder)
- Add all property owners to the signature lines (if necessary)

Respectfully,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
(913)684-0465

GUENTHER ESTATES

Tracts of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

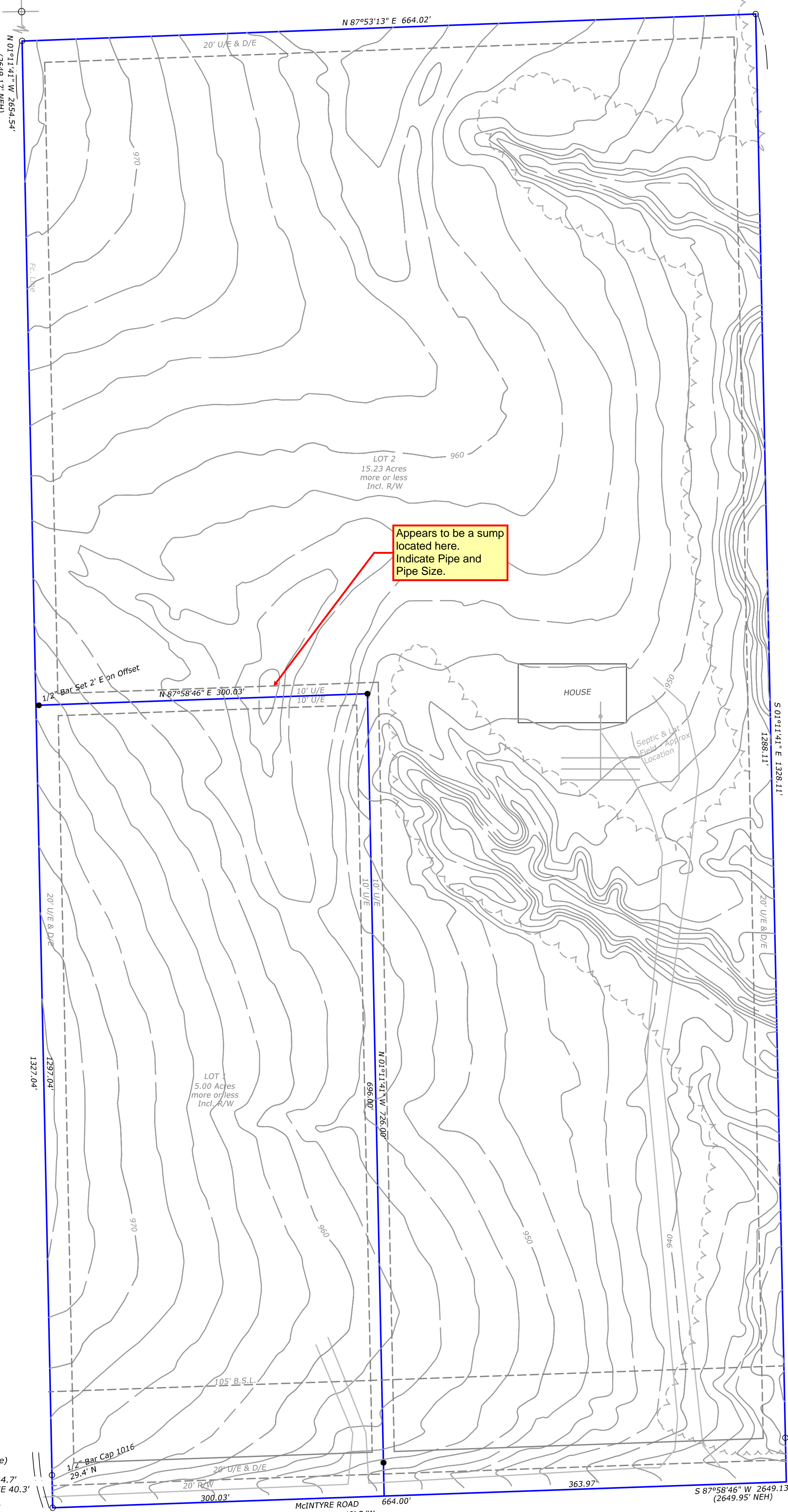
PRELIMINARY PLAT

PREPARED FOR:
 Brian Gunther
 16684 McIntyre Road
 Leavenworth, KS 66086
 PID No. 106-33-0-00-00-018

RECORD DESCRIPTION:
 Tract of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of said Southeast Quarter, thence North 01 degrees 11'41" West for a distance of 1327.04 feet along the West line of said Southeast Quarter; thence North 87 degrees 53'13" East for a distance of 664.02 feet; thence South 01 degrees 11'41" East for a distance of 1328.11 feet to said South line; thence South 87 degrees 58'46" West for a distance of 664.00 feet to the true point of beginning.
 Together with and subject to covenants, easements, and restrictions of record.
 Said property contains 20.23 Acres, more or less, including road right of way.

11X
 Center of
 Sec. 33-9-22 (Level)
 5/8" Bar Found
 1) Nail in Fence Post SE 6.95'
 2) Nail in Fence Post S 4.7'
 3) Bolt in Fence Post S 13.6'

1-04-21
OLSSON REVIEW



Appears to be a sump located here. Indicate Pipe and Pipe Size.

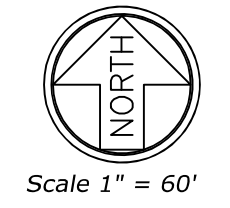
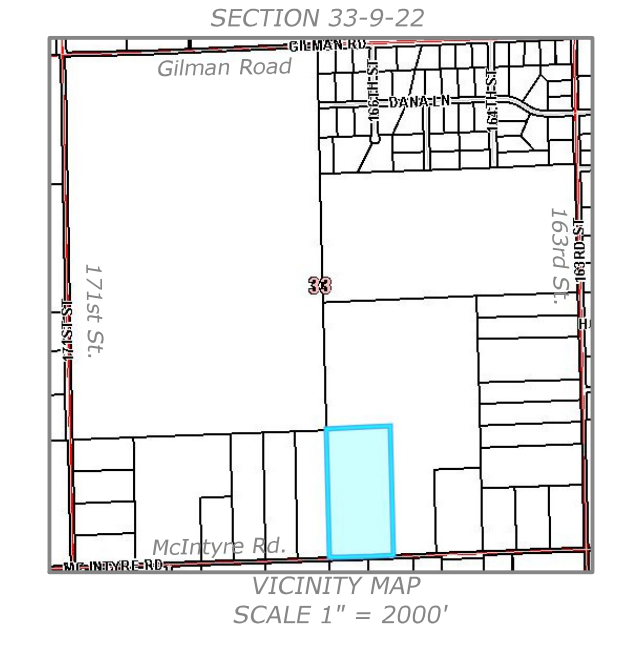
PID #'s

RESTRICTIONS:
 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
 4) Lots are subject to the current Access Management Policy
 5) No off-plat restrictions.

ZONING:
 RR-5, Rural Residential, 5-Acre minimum size parcels - Current and proposed

NOTES:
 1) This survey does not show ownership.
 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
 3) All recorded and measured distances are the same, unless otherwise noted.
 4) Error of Closure - See Error of Closure Calculations
 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
 6) Point Origin Unknown, unless otherwise noted.
 7) Proposed Lots for Residential Use.
 8) Road Record - See Survey
 9) Benchmark - NAVD88
 Project Benchmark (BM) - SW CORNER SW 1/4 - 963'
 10) Easements, if any, are created hereon or listed in referenced title commitment.
 11) Reference Recorded Deed Document No. 2017R10331
 12) Utility Companies -
 - Water - RWD 8
 - Electric - Evergy
 - Sewer - Septic / Lagoon
 - Gas - Propane / Natural Gas
 13) Reference Alliance Title Insurance Company Commitment Owners & Encumbrances updated December 7, 2020
 14) Property is not in a Special Flood Hazard Area per FEMA FIRMS Map 20103C0325G & 350G dated July 16, 2015
 15) Building Setback Lines as shown hereon or noted below
 - All side yard setbacks - 15' (Accessory - 15')
 - All rear yard setbacks - 40' (Accessory - 15')
 16) Distances to and of structures, if any, are +- 1'.
 17) Easements as per referenced Title Commitment are shown hereon
 - No easements were listed on the provided O & E Report
 18) Fence Lines do not necessarily denote the boundary line for the property.
 19) Reference Surveys:
 (NEH) - Norman E. Holmes Survey dated 1976
 (DGW) - D.G. White Surveys S-12 #92 & S-14 #18
 Recorded Plat - HIGHCREST WEST SUBD.
 McCALL VALLEY SUBDIVISION
 (JAH) - J.A. Herring Survey recorded as Document Number 2018S020
 20) Boundary of Plat is a retracement of above referenced (JAH) survey.

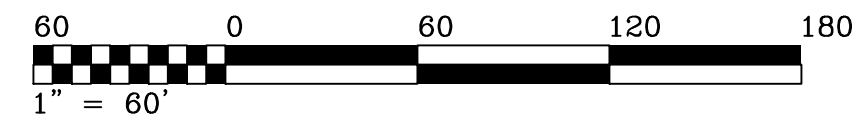
LEGEND:
 ● - 1/2" Bar Set with Cap No. 1296
 ○ - 1/2" Bar Found, unless otherwise noted.
 □ - Concrete Base to be Set around Point
 △ - PK Nail Found in Place
 () - Record / Deeded Distance
 U/E - Utility Easement
 D/E - Drainage Easement
 B.S.L. - Building Setback Line
 R/W - Permanent Dedicated Roadway Easement dedicated this plat
 ⊕ - Centerline
 ⊖ - Section Line
 BM - Benchmark
 - DIRECTION OF WATER FLOW
 ○ - Power Pole
 X - Fence Line
 OHP - Overhead Power Lines
 T - Underground Telephone/Fiber Optic Line
 ◆ - Gas Valve
 ◆ - Water Meter/Valve
 ⊕ - Telephone Pedestal
 W - 6" Water Line - location as per district



Scale 1" = 60'

Job # K-20-1142
 December 21, 2020

315 North 5th Street, Leav., KS 66048
 Ph. 913.651.3858 Fax 913.674.5361
 Email - survey@herringinc.com



BM
 POB
 11Z
 SW Cor SE 1/4
 Sec. 33-9-22 (Level)(Herring/White)
 1/2" Bar Cap 1296
 1) 60d Nail in Corner Post N 44.7'
 2) 60d Nail Top Brace Post SSE 40.3'
 3) 1/2" Bar N 29.64'
 4) Nail Top Fence Post S 23.5'

13Z
 Southeast Corner
 Sec. 33-9-22 (Level)(Strick)
 5/8" Bar Fd. 4" Deep
 1) 1/2" Bar NE 14.19'
 2) Mag Nail SW Face Fence Corner Post NW 40.3'
 3) Nail & Shiner NW Face Utility Pole SW 23.2'
 4) 60d Nail SE Face Utility Pole SW 23.3'
 5) 60d Nail Fence Brace Post NE 56.5'



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
 PS # 1296

GUENTHER ESTATES

Tracts of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
 Brian Gunther
 16684 McIntyre Road
 Leavenworth, KS 66086
 PTD No. 106-33-0-00-00-018

RECORD DESCRIPTION:
 Tract of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of said Southeast Quarter; thence North 01 degrees 11'41" West for a distance of 1327.04 feet along the West line of said Southeast Quarter; thence North 87 degrees 53'13" East for a distance of 664.02 feet; thence South 01 degrees 11'41" East for a distance of 1328.11 feet to said South line; thence South 87 degrees 58'46" West for a distance of 664.00 feet to the true point of beginning.
 Together with and subject to covenants, easements, and restrictions of record.
 Said property contains 20.23 Acres, more or less, including road right of way.

CERTIFICATION AND DEDICATION
 The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: GUENTHER ESTATES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,
 We, the undersigned owners of GUENTHER ESTATES, have set our hands this _____ day of _____, 2021.

 Brian R. Guenther

NOTARY CERTIFICATE:
 Be it remembered that on this _____ day of _____ 2021, before me, a notary public in and for said County and State came Brian R. Guenther, a single person, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
 My Commission Expires: _____ (seal)

APPROVALS
 We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of GUENTHER ESTATES this _____ day of _____, 2021.

 Secretary Krystal A. Voth

 Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:
 The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

 County Engineer -

COUNTY COMMISSION APPROVAL:
 We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of GUENTHER ESTATES, this _____ day of _____, 2021.

 Chairman

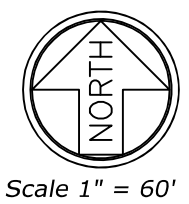
 County Clerk
 Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:
 Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

 Register of Deeds -

COUNTY SURVEYOR
 I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

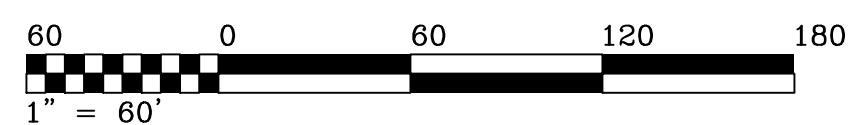
 COUNTY SURVEYOR -



Job # K-20-1142
 December 21, 2020

J. HERRING, INC. (dba) SURVEYING COMPANY

315 North 5th Street, Leav., KS 66048
 Ph. 913.651.3858 Fax 913.674.5361
 Email - survey@jeherrings.com



11Z
 SW Cor SE 1/4
 Sec. 33-9-22 (Level)(Herring/White)
 1/2" Bar Cap 1296

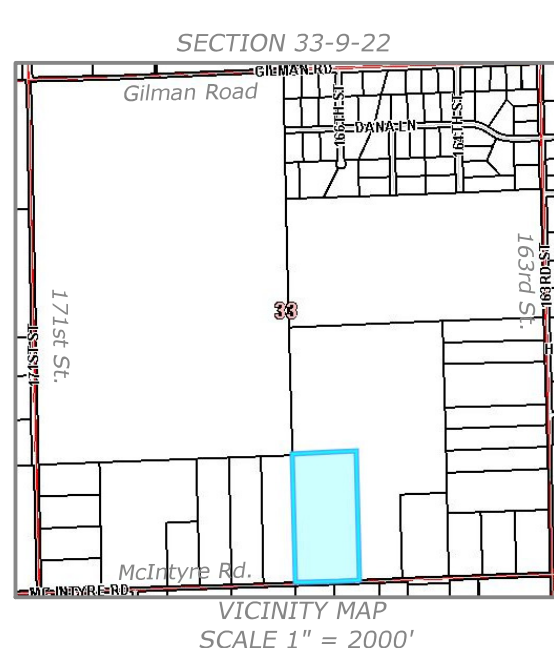
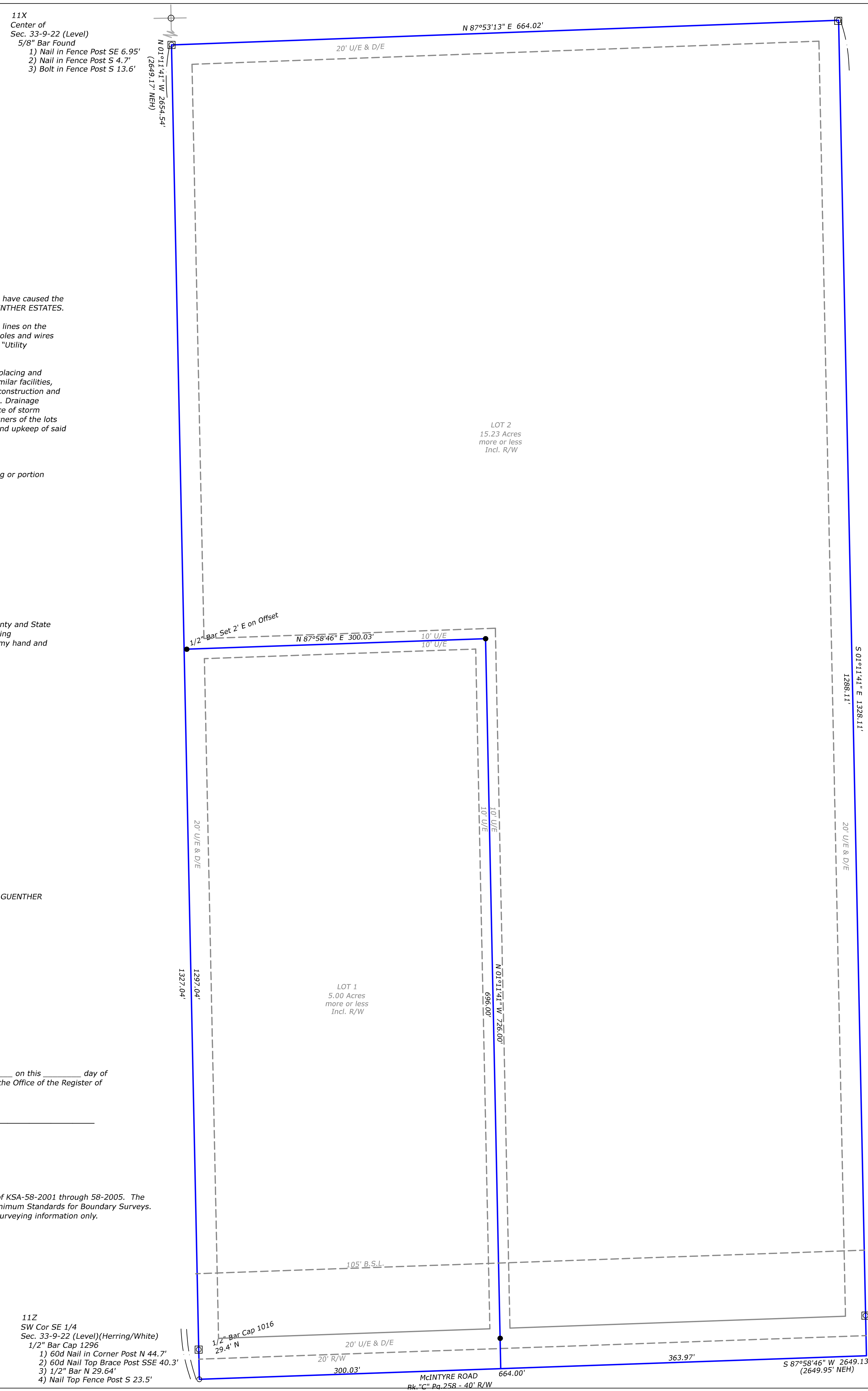
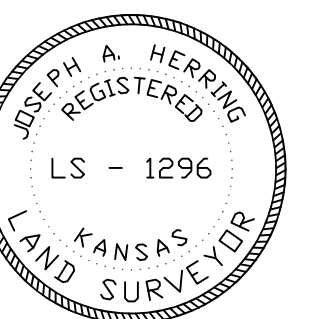
1) 60d Nail in Corner Post N 44.7'
 2) 60d Nail Top Brace Post SSE 40.3'
 3) 1/2" Bar N 29.64'
 4) Nail Top Fence Post S 23.5'

13Z
 Southeast Corner
 Sec. 33-9-22 (Level)(Strick)
 5/8" Bar Fd. 4" Deep

1) 1/2" Bar NE 14.19'
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 3) Nail & Shiner NW Face Utility Pole SW 23.2'
 4) 60d Nail SE Face Utility Pole SW 23.3'
 5) 60d Nail Fence Brace Post NE 56.9'

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

 Joseph A. Herring
 PS # 1296



LEGEND:

- - 1/2" Bar Set with Cap No. 1296
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- △ - PK Nail Found in Place
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- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- ⊕ - Centerline
- ≡ - Section Line
- BM - Benchmark

**1-04-21
 OLSSON REVIEW
 No Comments**

RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy
- 5) No off-plat restrictions.

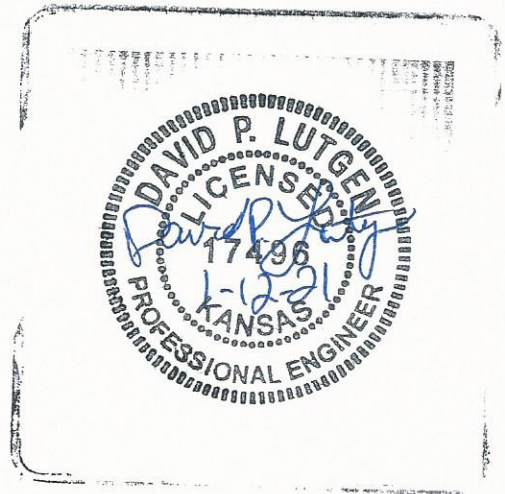
ZONING:
 RR-5, Rural Residential, 5-Acre minimum size parcels - Current and proposed

NOTES:

- 1) This survey does not show ownership.
- 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
- 3) All recorded and measured distances are the same, unless otherwise noted.
- 4) Error of Closure - See Error of Closure Calculations
- 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
- 6) Point Origin Unknown, unless otherwise noted.
- 7) Proposed Lots for Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
- 10) Easements, if any, are created hereon or listed in referenced title commitment.
- 11) Reference Recorded Deed Document No. 2017R10331
- 12) Utility Companies -
 - Water - RWD S
 - Electric - Evergy
 - Sewer - Septic / Lagoon
 - Gas - Propane / Natural Gas
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 - McCALL VALLEY SUBDIVISION
 - (JAH) - J.A. Herring Survey recorded as Document Number 2018S020
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Guenther Estates
Leavenworth County Kansas
Drainage Report
Prepared December 12, 2020
Revised January 12, 2021

Guenther Estates
Leavenworth County Kansas
Drainage Report
Prepared December 12, 2020
Revised January 12, 2021



Parcel Information - The 20.2-acre (+/-) parcel is located on the north side of McIntyre Road in Leavenworth County KS. The address to the home on Lot #2 is 16684 McIntyre Rd. The parcel is zoned RR 5.0. The parcel is a home site and used as pasture.

Existing Conditions – The site can be divided into two drainage areas, see exhibit #1. All storm water runoff from the site flows east off of the site.

A composite c value was calculated for each drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and existing land use, see Exhibits #2 and #3.

Existing	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.35	0.0	0.0	
Pasture	0.36	14.8	5.2	
Crops	0.60	0.0	0.0	
Impervious	0.90	0.2	0.0	
Composite c		0.37	0.36	

$$\text{composite c} = \frac{(\text{Wooded Acres} * 0.35 + \text{Pasture Acres} * 0.36 + \text{Crop Acres} * 0.60 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create 2 residential building lots. The developed storm water runoff calculations include 10,000 sq ft of impervious area for lot #1. This impervious area will account for the driveway, house footprint, and outbuilding. The remainder of the lot is assumed to be maintained as pasture. A c value of 0.36 is used for pasture area while a c value of 0.90 is used for the impervious areas. A composite c value for each drainage area was calculated as shown below.

Developed	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.35	0.0	0.0	
Pasture	0.36	14.6	5.2	
Crops	0.60	0.0	0.0	
Impervious	0.90	0.4	0.0	
Composite c		0.38	0.36	

$$\text{composite } c = \frac{(\text{Wooded Acres} * 0.35 + \text{Pasture Acres} * 0.36 + \text{Crop Acres} * 0.60 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

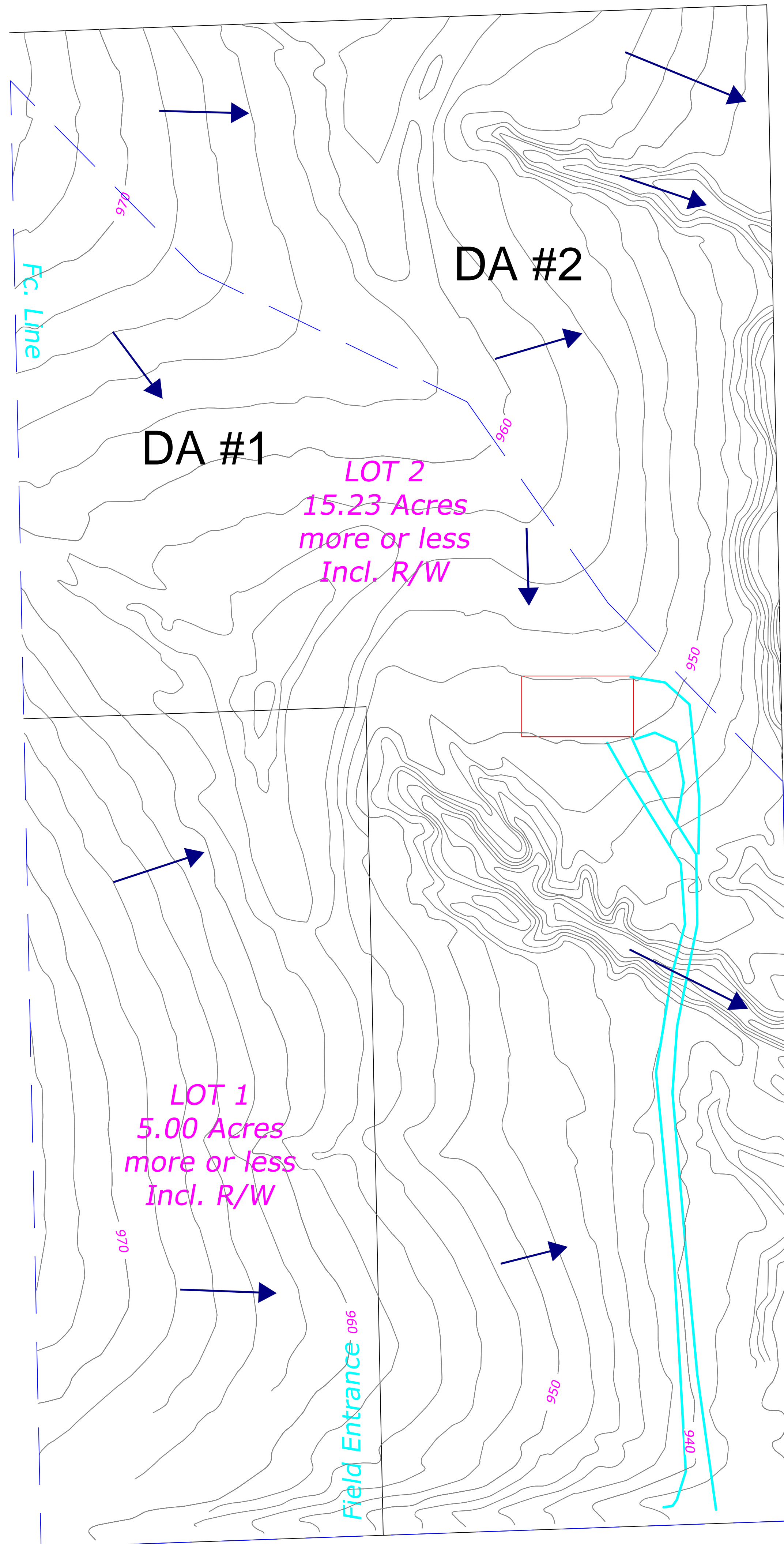
The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	30.1	53.5
Developed	31.3	55.6
Change	4%	4%

The increase in storm water runoff results in a 0.02-ft rise at the property line in both the 10-yr storm and 100-yr storm events, see exhibits #4 – #7.

Conclusion – The creation of an additional building lot on this parcel of ground results in a 4% increase in storm water runoff from the property.



McIntyre Road

EXHIBIT #1

TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas	0.50
Neighborhood areas	0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached	0.60 - 0.75
Multi units, attached	0.25 - 0.40
Suburban	0.50 - 0.70
Apartment dwelling areas	
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

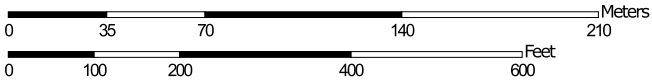
Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

EXHIBIT #2



Map Scale: 1:2,690 if printed on A portrait (8.5" x 11") sheet.



Map projection: Web Mercator Corner coordinates: WGS84

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7051	Kennebec silt loam, frequently flooded	3.1	9.8%
7254	Grundy silty clay loam, 3 to 7 percent slopes, eroded	1.9	6.1%
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded	13.8	43.3%
7576	Shelby clay loam, 8 to 12 percent slopes, eroded	13.0	40.8%
Totals for Area of Interest		31.8	100.0%

Channel Report

Pre-Platting 10

Channel 1

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 30.10 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
30.10	0.70	8.96	3.36	15.77	0.030	0.61	100.70	100.88	0.44	15.60

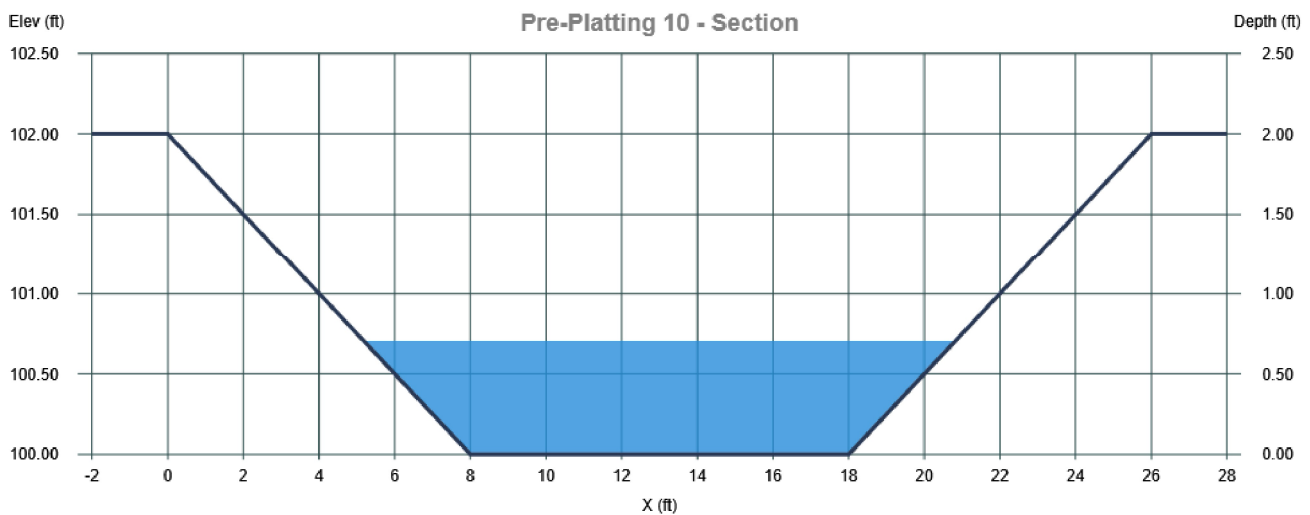


EXHIBIT #4

Channel Report

Post-Platting 10

Channel 2

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 31.30 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
31.30	0.72	9.27	3.38	15.94	0.030	0.62	100.72	100.90	0.45	15.76

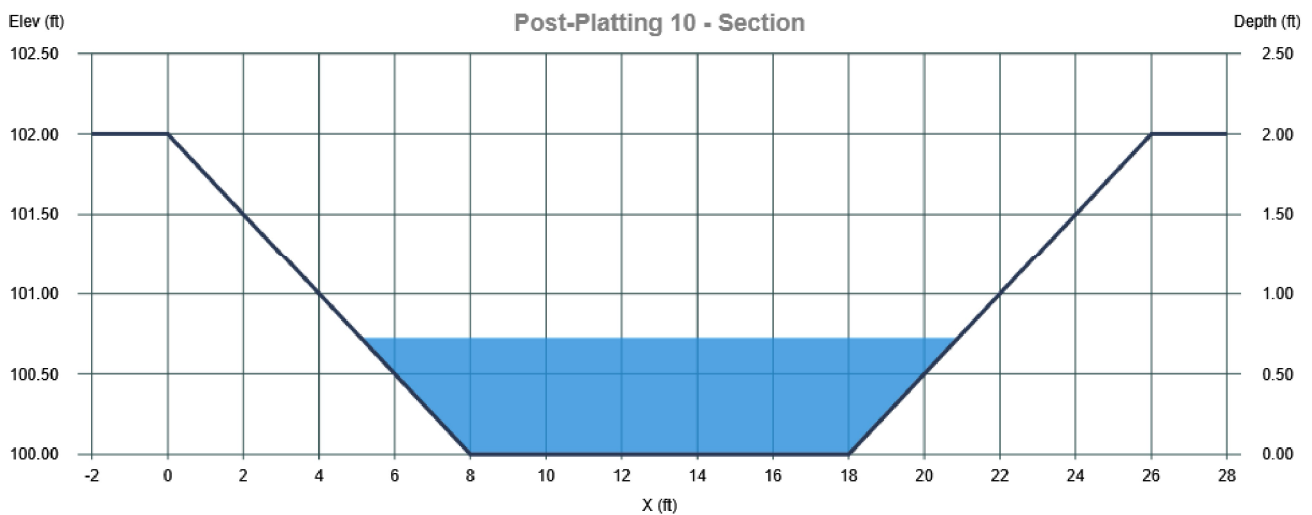


EXHIBIT #5

Channel Report

Pre-Platting 100

Channel 3

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 53.50 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
53.50	0.96	13.29	4.03	17.92	0.030	0.86	100.96	101.21	0.60	17.68

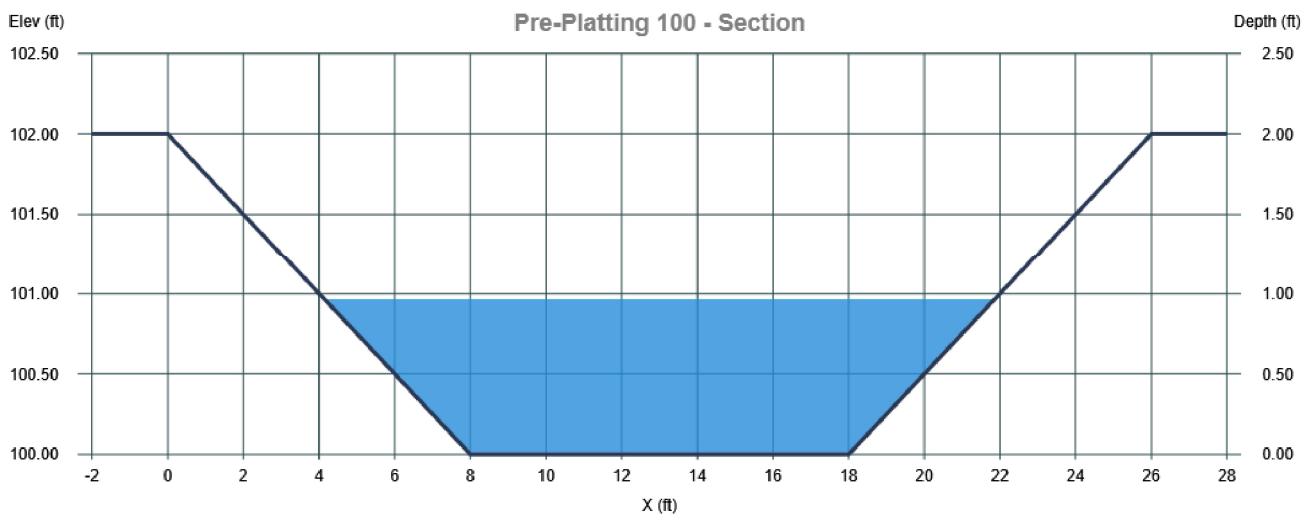


EXHIBIT #6

Channel Report

Post-Platting 100

Channel 4

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 55.60 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
55.60	0.98	13.64	4.08	18.08	0.030	0.88	100.98	101.24	0.61	17.84

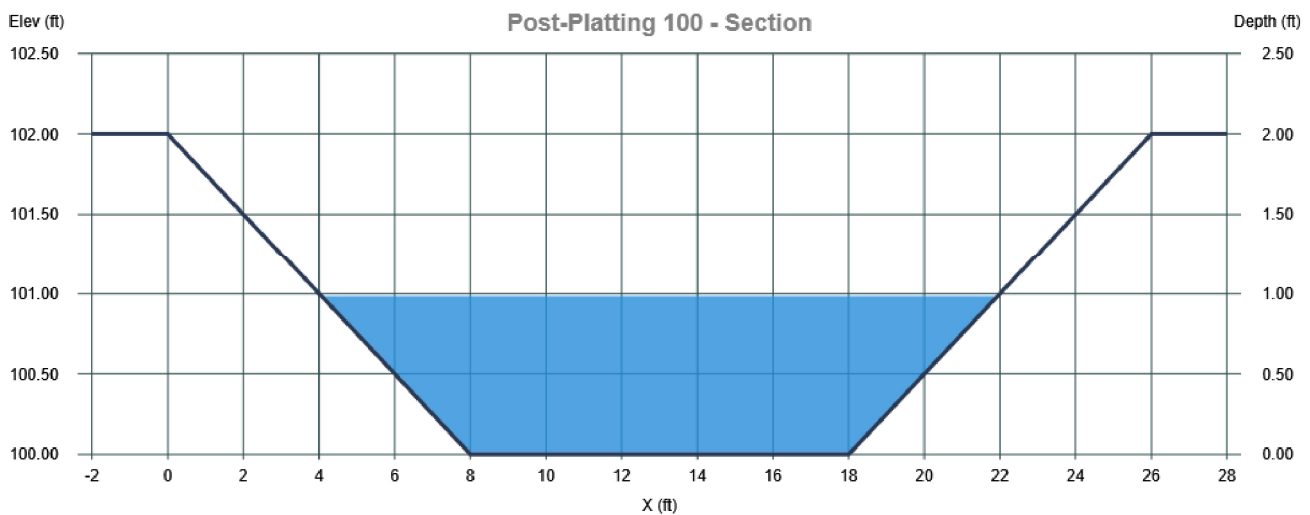


EXHIBIT #7

Drainage Area #1- 10 year

Existing Conditions

Area = 15 acres
C= 0.37
L= 800
S= 6.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 12.3$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_i = 12.3$$

$$T_t = 1.33$$

$$T_t = 1.33$$

$$T_c = 13.6$$

$$i_{10} = 5.40$$

$$Q = KCiA$$

$$Q = 30.1 \text{ cfs}$$

Developed Conditions

Area = 15 acres
C= 0.38
L= 800
S= 6.3
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

$$T_i = 12.1$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

$$T_i = 12.1$$

$$T_t = 1.33$$

$$T_t = 1.33$$

$$T_c = 13.4$$

$$i_{10} = 5.43$$

$$Q = KCiA$$

$$Q = 31.3 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 15 acres
C= 0.37
L= 800
S= 6.3
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < Tc < 15

$$T_i = 12.3$$

$$i_{100} = 331/(T_c + 30)$$

15 < Tc < 60

$$T_t = 1.33$$

$$T_c = 13.6$$

$$i_{100} = 7.66$$

$$Q = KCiA$$

$$Q = 53.5 \text{ cfs}$$

Developed Conditions

Area = 15 acres
C= 0.38
L= 800
S= 6.3
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < Tc < 15

$$T_i = 12.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < Tc < 60

$$T_t = 1.33$$

$$T_c = 13.4$$

$$i_{100} = 7.71$$

$$Q = KCiA$$

$$Q = 55.6 \text{ cfs}$$

From: [Mitch Pleak](#)
Sent: Wednesday, January 13, 2021 11:44 AM
To: [Clements, Jared](#)
Cc: [Voth, Krystal](#); [Noll, Bill](#); [Anderson, Lauren](#); [019-2831](#)
Subject: RE: Guenther & Barker Estates PZ & Olsson Review

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Jared,
There is no further comments on the DR submitted and included in the link below.

<https://oaconsulting.sharefile.com/d-s2f2fd88ba7e84c68a1a6069a0684d4be>

Sincerely,

Mitch Pleak

From: David Lutgen
Sent: Tuesday, January 12, 2021 6:28 PM
To: Clements, Jared
Cc: Joe Herring ; Mitch Pleak ; Voth, Krystal ; Noll, Bill
Subject: Re: Guenther & Barker Estates PZ & Olsson Review

Jared,

The revised drainage report is attached.

Thanks

David Lutgen, P.E.

On Tue, Jan 12, 2021 at 11:58 AM Clements, Jared <JClements@leavenworthcounty.gov> wrote:

Good Morning Joe,

Please find the attached reviews from Olsson, as well as the PZ review below for Guenther and Barker Estates. Please note we are awaiting the final plat surveyor-review from Public Works due to an oversight on my part. That being said, there should still be ample time to get final revisions in by January 29, 2021.

PZ review of Preliminary & Final Plat

- Please include adjacent PID's
- Adjust the name to reflect requested change (expected, just a reminder)
- Add all property owners to the signature lines (if necessary)

Respectfully,

Jared Clements
Planner II
Leavenworth County Planning and Zoning

From: [Van Parys, David](#)
Sent: Monday, January 4, 2021 8:13 AM
To: [Clements, Jared](#)
Subject: RE: DEV-20-152 & 153 Preliminary & Final Plat - Guenther & Barker Estates

Jared, No apparent legal concerns.

From: Clements, Jared
Sent: Thursday, December 31, 2020 2:14 PM
To: Magaha, Chuck ; Van Parys, David ; Thorne, Eric ; Miller, Jamie ; firedistrict1@fd1lv.org; 'Rural Water' ; Amanda.holloway@freestate.coop
Subject: DEV-20-152 & 153 Preliminary & Final Plat - Guenther & Barker Estates

The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary and Final Plat for a two-lot subdivision, Guenther & Barker Estates, on McIntyre Road.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
(913)684-0465

From: [Amanda Tarwater](#)
Sent: Thursday, December 31, 2020 2:22 PM
To: [Clements, Jared](#)
Subject: Re: DEV-20-152 & 153 Preliminary & Final Plat - Guenther & Barker Estates

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

FreeState Electric has no objection to this request.

Thank you,

Amanda Tarwater
Member Account Coordinator



1-800-794-1989 | www.freestate.coop

From: "Clements, Jared"
Date: Thursday, December 31, 2020 at 2:14 PM
To: "Magaha, Chuck" , "Van Parys, David" , "Thorne, Eric" , "Miller, Jamie" , "firedistrict1@fd1lv.org" , 'Rural Water' , Amanda Tarwater
Subject: DEV-20-152 & 153 Preliminary & Final Plat - Guenther & Barker Estates

Warning: This message originated outside of the FEC organization. Do not click links or open attachments unless you have validated the sender and know the content is safe. <="" span="">

The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary and Final Plat for a two-lot subdivision, Guenther & Barker Estates, on McIntyre Road.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212

From: [Rural Water](#)
Sent: Saturday, January 2, 2021 12:06 PM
To: [Clements, Jared](#)
Subject: RWD#8 RE: Dev-20-152 & 153

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Clements:

RWD#8 provides water service to : 16684 McIntyre Rd.--Brian Guenther

Mr. Guenther is not in good standing with RWD#8 as he has failed to pay a remaining balance of \$522.02 on the installation of his water meter.

I believe water service could be made available to the subdivided lot if the debt is paid and proper application is made to the Board of RWD#8.

There is a 4" water main on the north side of McIntyre Road.

If you have any further questions please contact me at: 913-796-2164.

--

Becky Fousek

Office Manager

Rural Water District #8-LV CO

From: [Rural Water](#)
Sent: Monday, January 4, 2021 1:58 PM
To: [Clements, Jared](#)
Subject: Re: RWD#8 RE: Dev-20-152 & 153

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Clements:

Answers:

- a. There are no fire hydrants adjacent to this property
- b. No fire hydrants the water line is a 4" water line not large enough to support a fire hydrant or fire protection
- c. There are no plans to upgrade the line to support fire hydrants.

RWD#8

Becky Fousek. Office Manager

On Mon, Jan 4, 2021 at 12:22 PM Clements, Jared <JClements@leavenworthcounty.gov> wrote:

Good Afternoon,

Thank you for your response, I will let the applicant know that there is an issue with their standing with your District.

Secondly, would you mind answering the following questions regarding this proposal?

- a. Are there existing fire hydrants that are adjacent to this property?
- b. Would the water district allow fire hydrants to be installed on the existing service line(s) in the area of the proposed plat boundary?

c. Does the water district have plans to upgrade the service in this vicinity to such a level that fire hydrants can be installed in the foreseeable future, or within a set number of years? If so, what would the improvements consist of?

Thank you,

Jared Clements

Planner II

Leavenworth County Planning and Zoning

300 Walnut St. Ste. 212

Leavenworth, KS 66048

(913)684-0465

From: Rural Water <rwd8lv@gmail.com>
Sent: Saturday, January 2, 2021 12:06 PM
To: Clements, Jared <JClements@leavenworthcounty.gov>
Subject: RWD#8 RE: Dev-20-152 & 153

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Clements:

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There is a 4" water main on the north side of McIntyre Road.

If you have any further questions please contact me at: 913-796-2164.

--

Becky Fousek

Office Manager

Rural Water District #8-LV CO

--

Becky Fousek

Office Manager

Rural Water District #8-LV CO

GUENTHER & BARKER ESTATES

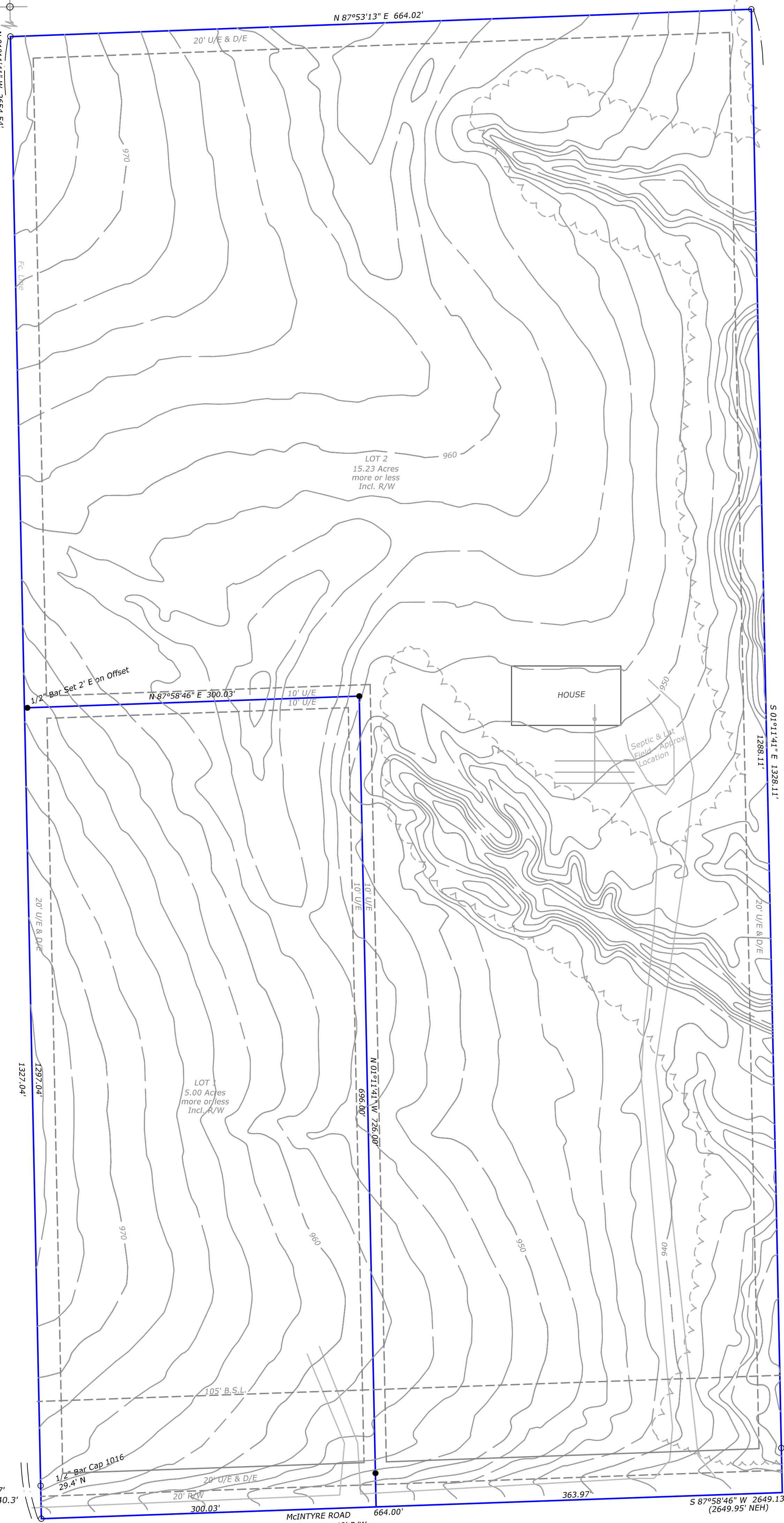
Tracts of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
 Brian Gunther
 16684 McIntyre Road
 Leavenworth, KS 66086
 PID No. 108-33-0-00-00-018

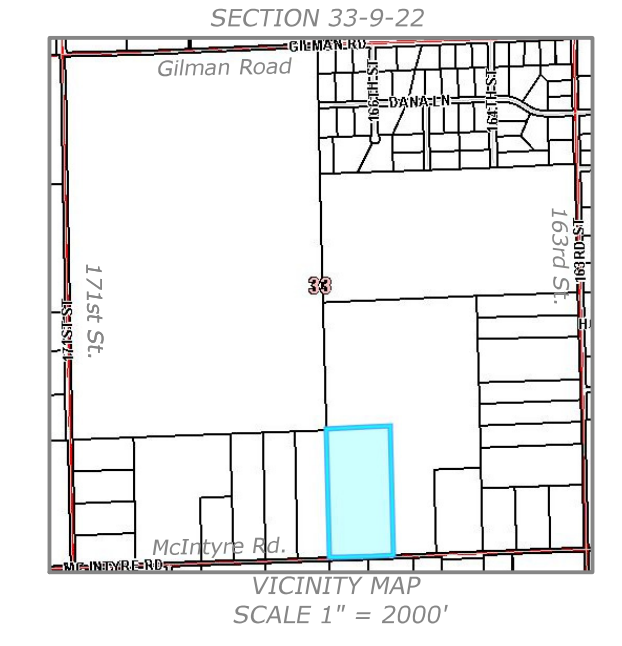
RECORD DESCRIPTION:
 Tract of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of said Southeast Quarter; thence North 01 degrees 11'41" West for a distance of 1327.04 feet along the West line of said Southeast Quarter; thence North 87 degrees 53'13" East for a distance of 664.02 feet; thence South 01 degrees 11'41" East for a distance of 1328.11 feet to said South line; thence South 87 degrees 58'46" West for a distance of 664.00 feet to the true point of beginning. Together with and subject to covenants, easements, and restrictions of record. Said property contains 20.23 Acres, more or less, including road right of way.

11X
 Center of
 Section 33-22 (Level)
 5/8" Bar Found
 1) Nail in Fence Post SE 6.95'
 2) Nail in Fence Post S 4.7'
 3) Bolt in Fence Post S 13.0'

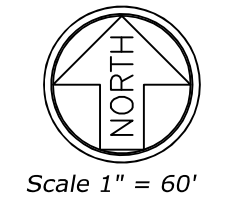


PID # 108-33-017

PID # 108-33-016 02



- LEGEND:**
- - 1/2" Bar Set with Cap No. 1296
 - - 1/2" Bar Found, unless otherwise noted.
 - - Concrete Base to be Set around Point
 - △ - PK Nail Found in Place
 - () - Record / Deeded Distance
 - U/E - Utility Easement
 - D/E - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement dedicated this plat
 - ⊕ - Centerline
 - ⊖ - Section Line
 - BM - Benchmark
 - DIRECTION OF WATER FLOW
 - ⊙ - Power Pole
 - X - Fence Line
 - OHP - Overhead Power Lines
 - T - Underground Telephone/Fiber Optic Line
 - ⊕ - Gas Valve
 - ⊕ - Water Meter/Valve
 - ⊕ - Telephone Pedestal
 - W - 6" Water Line - location as per district

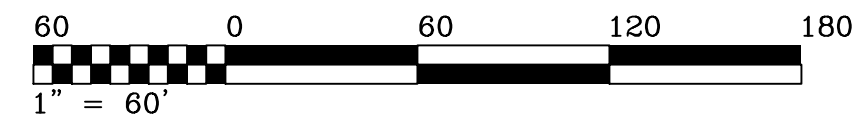


Scale 1" = 60'

Job # K-20-1142
 December 21, 2020 Rev. 1/16/21

J. HERRING, INC. (dba)
HERRING SURVEYING & COMPANY

315 North 5th Street, Leav., KS 66048
 Ph. 913.651.3858 Fax 913.674.5361
 Email - survey@herringinc.com

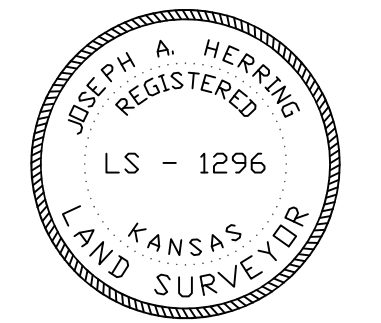


- BM
 POB
 11Z
 SW Cor SE 1/4
 Sec. 33-9-22 (Level)(Herring/White)
 1/2" Bar Cap 1296
- 1) 60d Nail in Corner Post N 44.7'
 - 2) 60d Nail Top Brace Post SSE 40.3'
 - 3) 1/2" Bar N 29.64'
 - 4) Nail Top Fence Post S 23.5'

- 13Z
 Southeast Corner
 Sec. 33-9-22 (Level)(Strick)
 5/8" Bar Fd. 4" Deep
- 1) 1/2" Bar NE 14.19'
 - 2) Mag Nail SW Face Fence Corner Post NW 40.3'
 - 3) Nail & Shiner NW Face Utility Pole SW 23.2'
 - 4) 60d Nail SE Face Utility Pole SW 23.3'
 - 5) 60d Nail Fence Brace Post NE 56.9'

I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
 PS # 1296



GUENTHER & BARKER ESTATES

Tracts of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
 Brian Gunther
 16684 McIntyre Road
 Leavenworth, KS 66086
 PID No. 108-33-0-00-00-018

RECORD DESCRIPTION:
 Tract of land in the Southeast Quarter of Section 33, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of said Southeast Quarter; thence North 01 degrees 11'41" West for a distance of 1327.04 feet along the West line of said Southeast Quarter; thence North 87 degrees 53'13" East for a distance of 664.02 feet; thence South 01 degrees 11'41" East for a distance of 1328.11 feet to said South line; thence South 87 degrees 58'46" West for a distance of 664.00 feet to the true point of beginning. Together with and subject to covenants, easements, and restrictions of record. Said property contains 20.23 Acres, more or less, including road right of way.

CERTIFICATION AND DEDICATION
 The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: GUENTHER & BARKER ESTATES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).
 "Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,
 We, the undersigned owners of GUENTHER & BARKER ESTATES, have set our hands this _____ day of _____, 2021.

Brian R. Guenther

NOTARY CERTIFICATE:
 Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Brian R. Guenther, a single person, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
 My Commission Expires: _____ (seal)

APPROVALS
 We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of GUENTHER & BARKER ESTATES this _____ day of _____, 2021.

Secretary Krystal A. Voth
 Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:
 The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - _____

COUNTY COMMISSION APPROVAL:
 We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of GUENTHER & BARKER ESTATES, this _____ day of _____, 2021.

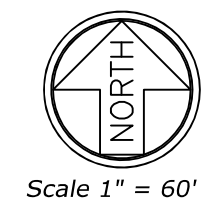
Chairman Mike Smith
 County Clerk Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:
 Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

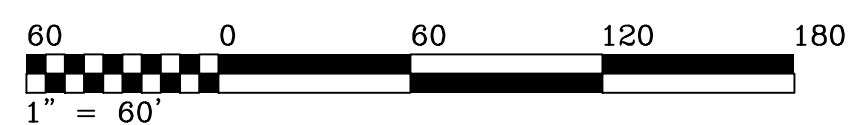
Register of Deeds - Terri Lois G. Mashburn

COUNTY SURVEYOR
 I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

COUNTY SURVEYOR -
 Stephan C. Tuft, KS PS No. 1252
 Leavenworth County Reviewer



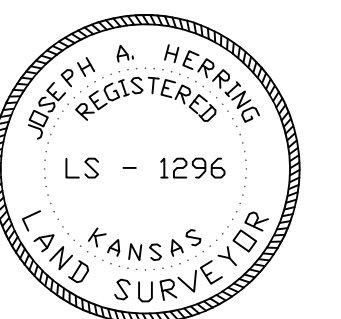
Job # K-20-1142
 December 21, 2020 Rev. 1/16/21



- 11Z
 SW Cor SE 1/4
 Sec. 33-9-22 (Level)(Herring/White)
 1/2" Bar Cap 1296
 1) 60d Nail in Corner Post N 44.7'
 2) 60d Nail Top Brace Post SSE 40.3'
 3) 1/2" Bar N 29.64'
 4) Nail Top Fence Post S 23.5'

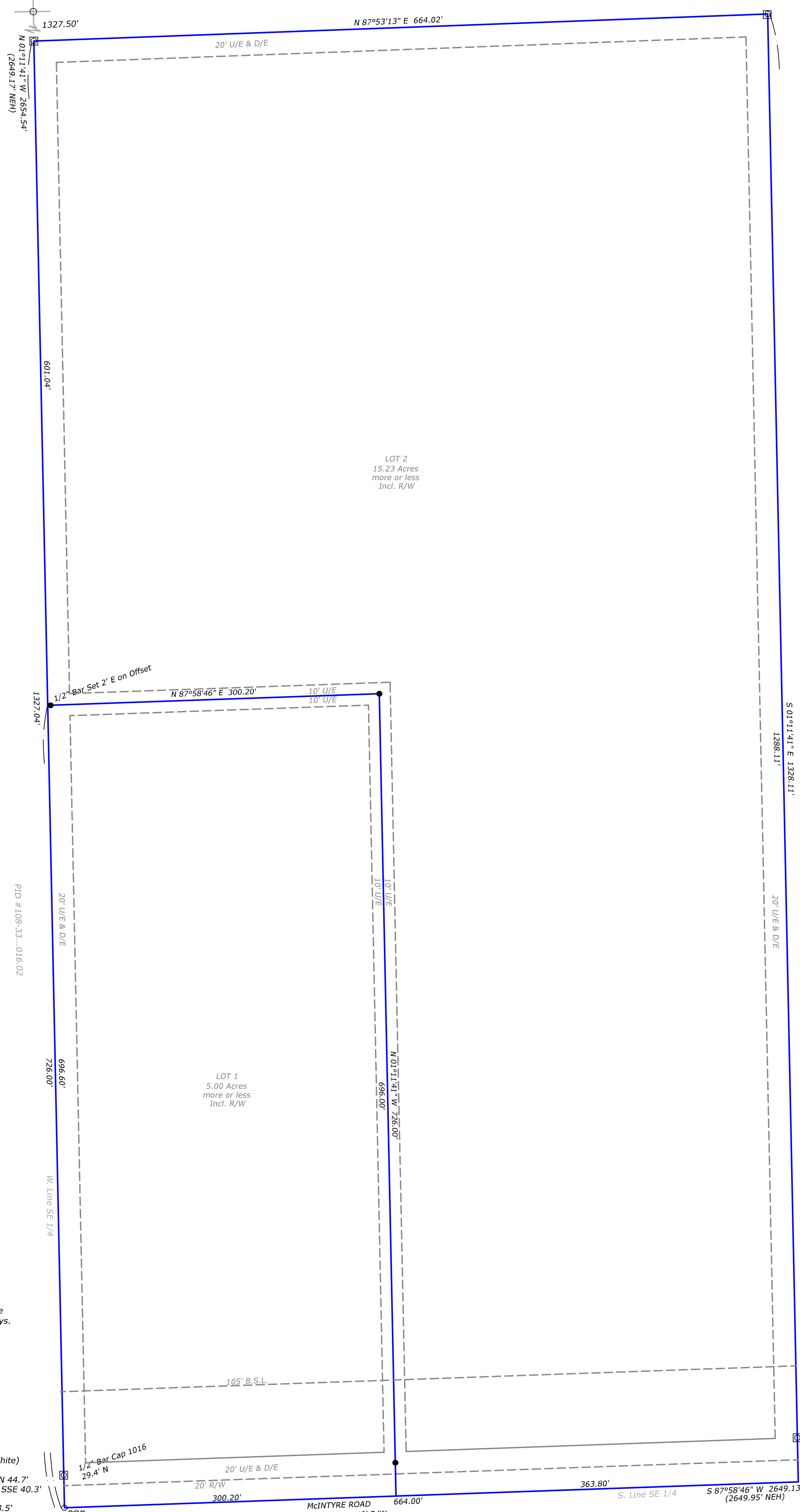


- LEGEND:
 ● - 1/2" Bar Set with Cap No. 1296
 ○ - 1/2" Bar Found, unless otherwise noted.
 □ - Concrete Base to be Set around Point
 △ - PK Nail Found in Place
 () - Record / Deeded Distance
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 D/E - Drainage Easement
 B.S.L. - Building Setback Line
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 ⊕ - Centerline
 ⊞ - Section Line
 BM - Benchmark
 POB - Point of Beginning
 POC - Point of Commencing



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
 PS # 1296



PID #108-33-017

S 01°11'41" E 1288.11'

20' U/E & D/E

10' U/E

10' U/E

10' U/E

- 13Z
 Southeast Corner
 Sec. 33-9-22 (Level)(Strick)
 5/8" Bar Fd. 4" Deep
 1) 1/2" Bar NE 14.19'
 2) Mag Nail SW Face Fence Corner Post NW 40.3'
 3) Nail & Shiner NW Face Utility Pole SW 23.2'
 4) 60d Nail SE Face Utility Pole SW 23.3'
 5) 60d Nail Fence Brace Post NE 56.9'

McINTYRE ROAD
 Rk. 12" Po 256 - 40' R/W

*****Consent Agenda*****
Case No. DEV-20-154 & 155
Tiner Acres
Preliminary and Final Plat

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Lanny & Nanette Tiner
19050 182nd Street
Tonganoxie, KS 66086

Agent: Herring Surveying

Legal Description: A tract of land in the southwest of Section 5, Township 11 South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Parcel Size: ± 30 acres

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Mixed-Use land use category.

Parcel ID No.: 183-05-0-00-00-010.02

Planner: Jared Clements

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a 2-lot subdivision.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C????G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Stranger
Water: Suburban Water
Electric: Evergy

Access/Streets

The property is accessed by 182nd Street. This road is a County Collector with a gravel surface ± 22' wide.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, January 18, 2021
See attached comments – Email – Steve Tufte – County Reviewer, January 6, 2021
See attached comments – Email – David Van Parys – County Counselor, January 4, 2021
See attached comments – Email – Matt Roecker – Evergy, January 4, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5-acre minimum size parcels.

The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5-acre minimum size parcels and meets the lot-depth to lot-width ratio of 3.5:1 or 4:1, have the minimum frontage of 200', Minimum lot size of 2.5 acres.

2. The property is not within a sewer district boundary nor is it within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.

Any further subdividing of any lot within this subdivision shall require the installation of public sanitary sewer or connection to an existing public sanitary sewer.

3. The proposed subdivision is in accordance with the Comprehensive Plan.

Subdivision Classification

This is classified as a Class 'C' Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County.

Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision. (See condition 4.)

Staff Comments

This is a 2-lot subdivision on 182nd Street. The proposal is consistent with Zoning and Subdivision Regulations, as well as the comprehensive plan. Lot 1 is 15.52 acres and Lot 2 is 14.58 acres. Both lots are accessed via 182nd Street.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-154 & 155, Preliminary and Final Plat for Tiner Acres, with the following conditions:

1. Building permits shall be required for any new construction.
 2. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
 3. The applicant shall adhere to the following memorandums:
 - a. Mitch Pleak – Public Works, January 18, 2021
 - b. Steve Tufte – January 6, February 1, 2021
 4. A waiver for the use of private septic systems within this subdivision is granted with this approval.
 5. At the time of development, fire hydrants shall be required if necessary infrastructure is available.
 6. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.
-

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-154 & 155, Preliminary and Final Plat for Tiner Acres, to the Board of County Commission, with or without conditions; or
2. Recommend denial of Case No. DEV-20-154 & 155, Preliminary and Final Plat for Tiner Acres, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place because;

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

From: [Clements, Jared](#)
Sent: Friday, January 8, 2021 4:08 PM
To: '[Joe Herring](#)'
Cc: [Noll, Bill](#); '[David Lutgen](#)'; [Voth, Krystal](#); 'mpleak@olsson.com'
Subject: Tiner Acres Review Packet
Attachments: TinerSubdReview.pdf; TinerSubdReview.txt; Tiner Acres Drainage Report.pdf; Tiner Acres FINAL review.pdf; Tiner Acres PRELIM review.pdf

Good Afternoon Joe,

Please find the attached reviews of Tiner Acres Drainage Report, Preliminary, and Final Plat, as well as comments from Planning & Zoning Staff below. Please make these adjustments and receive approval from our reviewers prior to Friday, January 29th, 2021.

- Label Final Plat as Final Plat.
- Correct the Range number on the Vicinity Map.

Respectfully,

Jared Clements
Planner II
Leavenworth County
Planning & Zoning

From: Joe Herring
Sent: Wednesday, December 23, 2020 1:50 PM
To: PZ ; Malnicof, Wayne
Subject: Fw: Tiner Acres

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Please see attached documents

Thank you - Joe Herring

J.Herring Inc., dba,Herring Surveying Company
315 N. 5th Street, Leavenworth, KS 66048
913-651-3858 - ROCK CHALK!

From: Joe Herring
Sent: Wednesday, December 23, 2020 11:32 AM
To: Joe Herring
Subject: Tiner Acres

TINER ACRES SUBD.

1. Label Final Plat, is labeled as Preliminary
2. Need closures of subd. and Lot 1 & Lot 2, does not close to our calculations, appears to be error in the bearing/distance of the middle east-west line between the lots
3. Record bearings and distances to be shown alongside the measured ones on the drawing and labeled as such (per KS Minimum Stds), there is a large discrepancy among the drawing distances and bearings and those record ones, see below.
4. Would highly recommend using the dimensions shown on drawing (I'm assuming they are measured) as your description, labeled as "Metes & Bounds Description" or "Surveyors Description", put that on TOP and place the record description BELOW, labeling that "Formerly Described in Book___ & Page___", or if you need to show the entire record description, would label that as "Formerly Described As". If you intend to hold and use the record description, all the "call outs"- bearings, distances, the exception lines etc. need to be shown on the drawing, (per KS Min. Stds) so that the description can be reasonably followed.
5. NW cor. S.1/2 SW1/4 to be labeled on drawing, also label N. Line S.1/2 SW1/4 and W. Line SW1/4
6. POB appears to be on wrong corner
7. Put POB & POC in Legend
8. Place Section corner ties appropriately on drawing, did not receive reference reports, file them to county surveyor office
9. 3 North/south dashed lines in center drawing need labeling/dimension/explanation, directly by the lines, another north-south dashed line near east edge plat, the same labeling
10. Lot 1 and Lot 2 labels should be in center of the lots
11. Some of symbols in Legend do not apply to this drawing, you may want to strip those out
12. Some typo's to correct as shown in red on drawing
13. Signature review certification placed on drawing as shown below;

COUNTY REVIEWER CERTIFICATION

I hereby certify that this document
has been reviewed by me and is

being filed for survey information only.

Stephan C. Tufte, KS PS No. 1252
Leavenworth County Reviewer

TINER ACRES

A Minor Subdivision in the Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
Lanny D. & Nanette M. Tiner
19050 182nd Street
Tonganoxie, KS 66086
PID # 183-05-00-00-010.02

CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: TINER ACRES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF

We, the undersigned owners of TINER ACRES, have set our hands this _____ day of _____, 2021.

Lanny D. Tiner Nanette M. Tiner

NOTARY CERTIFICATE:

Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Lanny D. Tiner and Nanette M. Tiner, husband and wife, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC _____

My Commission Expires: _____ (seal)

APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of TINER ACRES this _____ day of _____, 2021.

Secretary Krystal A. Voth Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer _____

COUNTY COMMISSION APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of TINER ACRES, this _____ day of _____, 2021.

Chairman County Clerk Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:
Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - _____

COUNTY SURVEYOR

I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

COUNTY SURVEYOR - _____

RECORD DESCRIPTION:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., more fully described as follows: Beginning at the Northwest corner of the South 1/2 of the Southwest 1/4 of said Section 5; thence South 89 degrees 13' 59" East on the North line of the South 1/2 of the Southwest 1/4 of said Section 5 a distance of 1851.10 feet to the Northwest corner of Tract "F"; thence South 01 degrees 58' 27" West on the West line of Tract "F" a distance of 799.99 feet; thence North 89 degrees 13' 59" West a distance of 1816.74 feet to the West line of the Southwest 1/4 of said Section 5; thence North 00 degrees 29' 12" West on the West line of the Southwest 1/4 of said Section 5 a distance of 800.00 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

Also less the following:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., described as follows: Commencing at the Southwest corner of the Southwest 1/4 of Section 5; thence, North 00 degrees 29' 12" West, 521.42 feet along the West line of the Southwest 1/4 of Section 5; thence, South 89 degrees 13' 59" East, 1090.00 feet to the point of beginning of this tract; thence, North 00 degrees 29' 12" West, 85.00 feet; thence, South 89 degrees 13' 59" East, 730.39 feet; thence, South 01 degrees 58' 27" West, 85.00 feet; thence North 89 degrees 13' 59" West, 726.74 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

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ZONING:

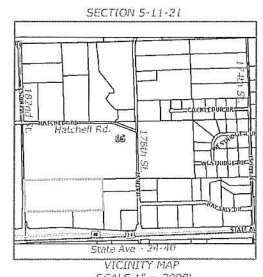
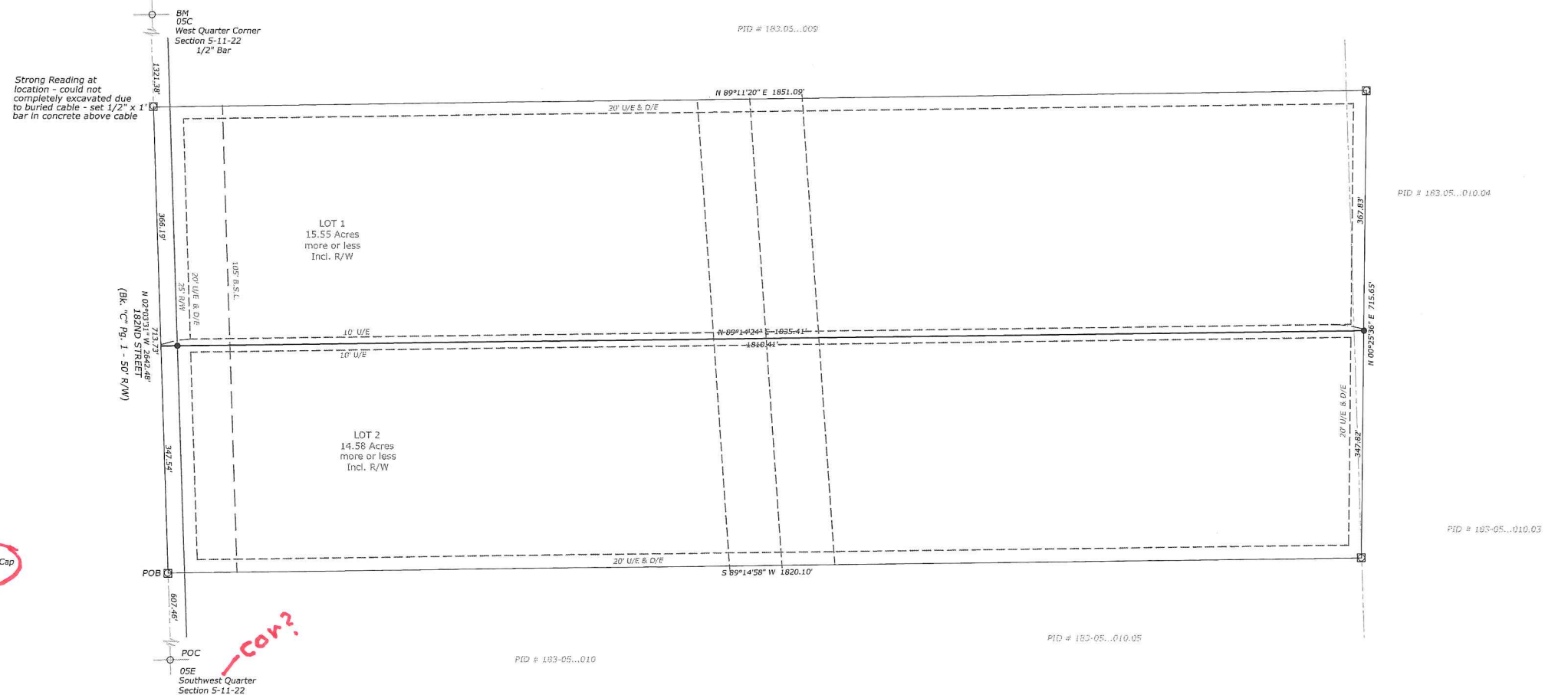
RR-2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

NOTES:

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- Error of Closure - See Error of Closure Calculations
- Basis of Bearing - KS State Plane NAD 83, North Zone 1501
- Point Origin Unknown, unless otherwise noted.
- Proposed Lots for Residential Use.
- Road Record - See Survey
- Benchmark - NAVD88
- Project Benchmark (BM) - Northwest Corner - 894'
- Easements, if any, are created hereon or listed in referenced title commitment.
- Reference Recorded Deed Page 708 Page 1446
- Utility Companies -
- Water - Suburban
- Electric - Energy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
- Reference Lawyer Title Insurance Company Case Number 41942 updated December 11, 2020
- Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
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- Reference Surveys:
DWG - D.G. White Survey - unrecorded.
- Boundary of Plat is a retracement of above referenced survey.

RESTRICTIONS:

- All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
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- Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
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- ### LEGEND:
- - 1/2" Bar Set with Cap No.1296
 - - 1/2" Bar Found, unless otherwise noted.
 - - Concrete Base to be Set around Point
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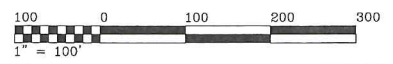


Scale 1" = 100'

Job # K-20-1414
December 20, 2020

HERRING SURVEYING COMPANY

315 North 5th Street, Leav. KS 66048
Ph. 913.651.5859 Fax 913.674.5381
Email - survey@teamcash.com



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

TINER ACRES

A Minor Subdivision in the Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
Lanny D. & Nanette M. Tiner
19050 182nd Street
Tonganoxie, KS 66086
PID # 183-05-0-00-00-010.02

CERTIFICATION AND DEDICATION
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: TINER ACRES.

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IN TESTIMONY WHEREOF,
We, the undersigned owners of TINER ACRES, have set our hands this _____ day of _____, 2021.

Lanny D. Tiner Nanette M. Tiner

NOTARY CERTIFICATE:
Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Lanny D. Tiner and Nanette M. Tiner, husband and wife, to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
My Commission Expires: _____ (seal)

APPROVALS
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of TINER ACRES this _____ day of _____, 2021.

Secretary Krystal A. Voth Chairman Steven Rosenthal

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County Engineer -

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ZONING:

RR-2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

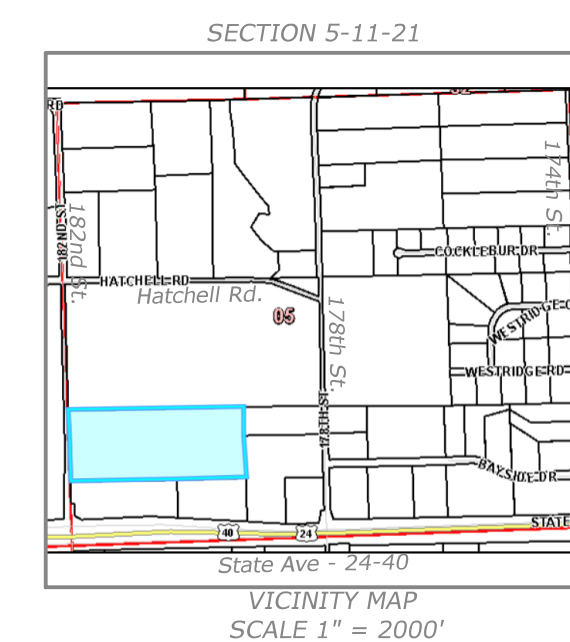
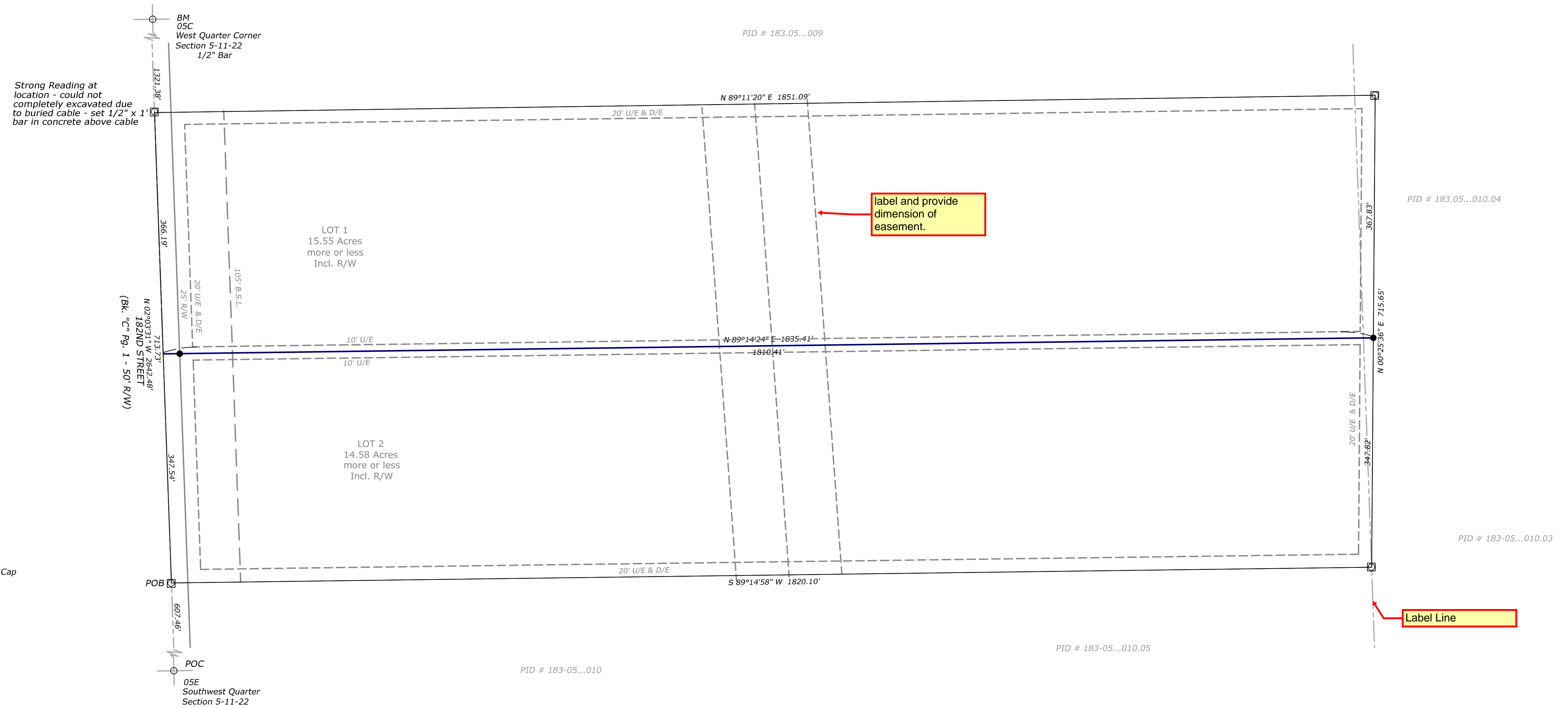
NOTES:

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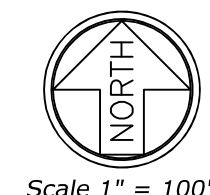
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1-04-21
OLSSON REVIEW

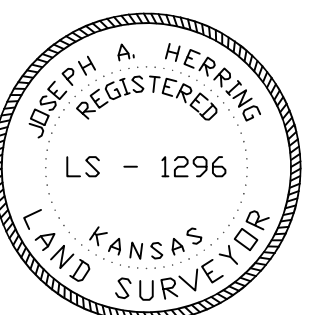
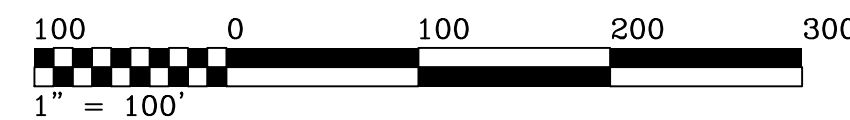


- LEGEND:**
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Scale 1" = 100'

Job # K-20-1414
December 20, 2020



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
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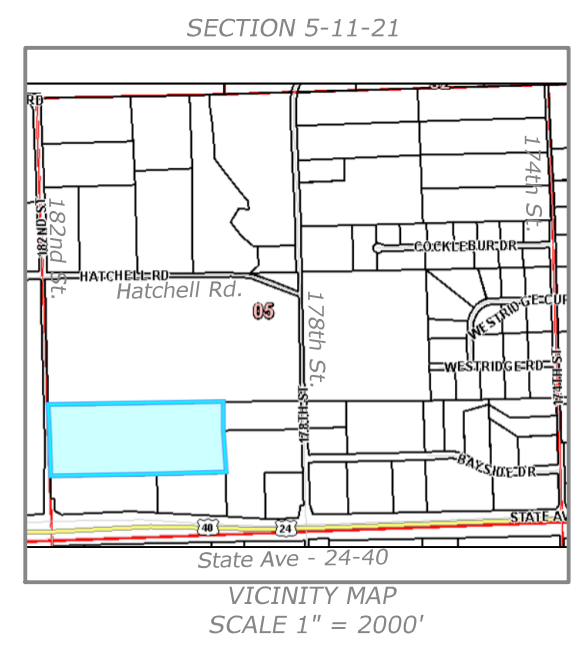
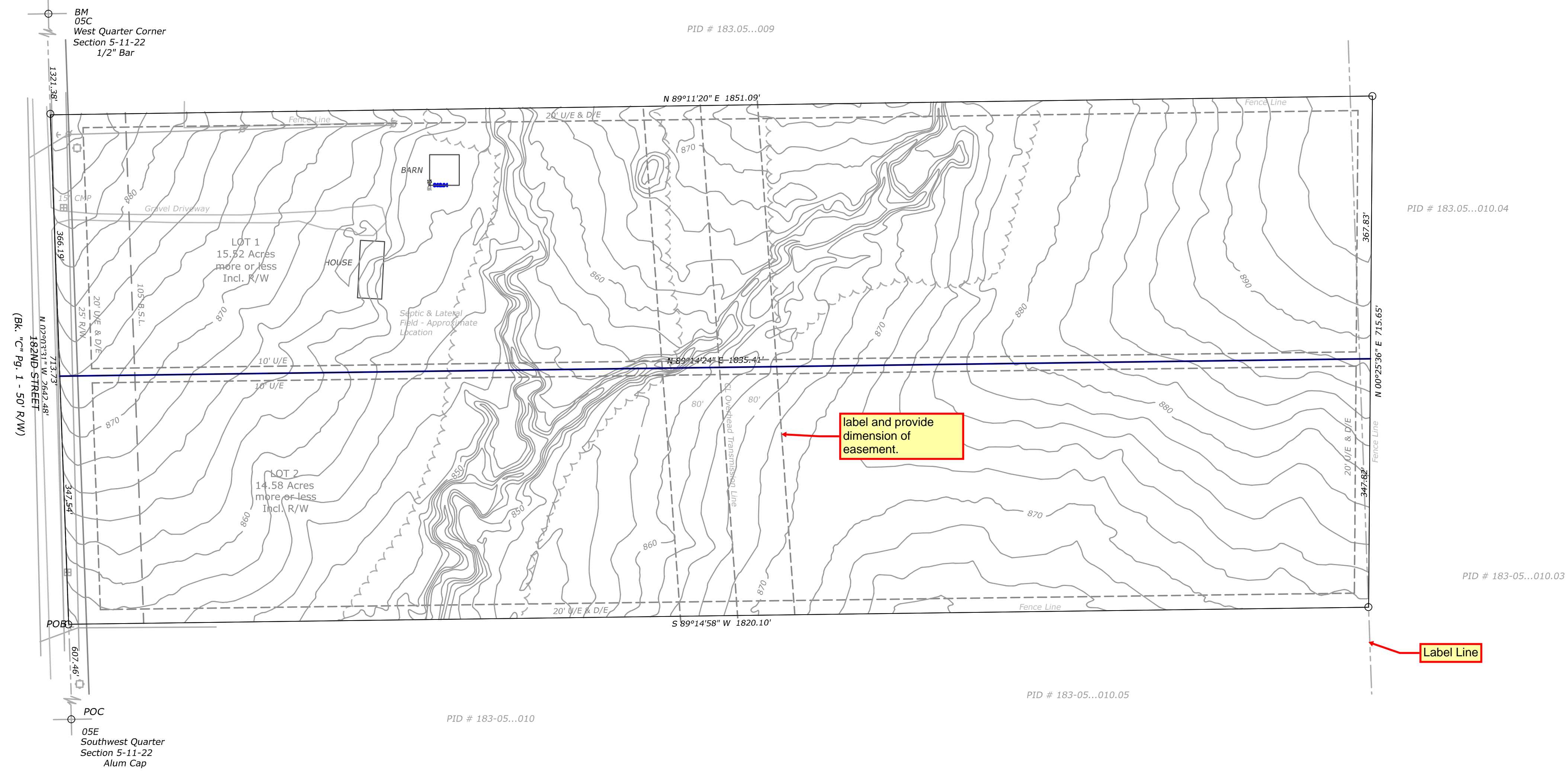
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- 6) Point Origin Unknown, unless otherwise noted.
- 7) Proposed Lots for Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
- 10) Project Benchmark (BM) - Northwest Corner - 5/8" Bar - 894'
- 11) Easements, if any, are created hereon or listed in referenced title commitment.
- 12) Reference Recorded Deed Document No. 2017R10331
- 13) Utility Companies -
- Water - Suburban
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
- 14) Reference Old Republic National Title Insurance Co. File Number TX0014158 updated September 4, 2019
- 15) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- 16) Building Setback Lines as shown hereon or noted below
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- All rear yard setbacks - 40' (Accessory - 15')
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- 18) Easements as per referenced Title Commitment are shown hereon
- Right of way Easement Bk. 339 Pg. 239, blanket description, to KP&L, not shown hereon.
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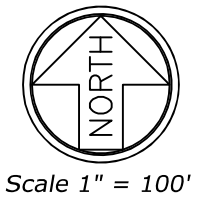
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1-04-21
OLSSON REVIEW

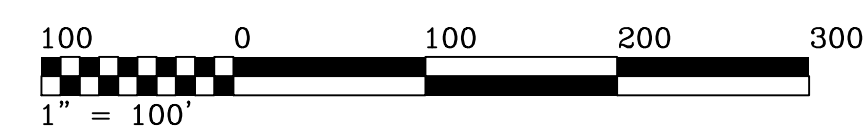


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 - T - Underground Telephone/Fiber Optic Line
 - ◇ - Gas Valve
 - ⊕ - Water Meter/Valve
 - ⊕ - Telephone Pedestal
 - W - 6" Water Line - location as per district
 - ~ - Tree/Brush Line



Scale 1" = 100'

Job # K-20-1414
December 20, 2020
J. HERRING, Inc. (dba)
HERRING SURVEYING
& COMPANY
315 North 5th Street, Leav., KS 66048
Ph. 913.651.3858 Fax 913.674.5361
Email - survey@eamcash.com



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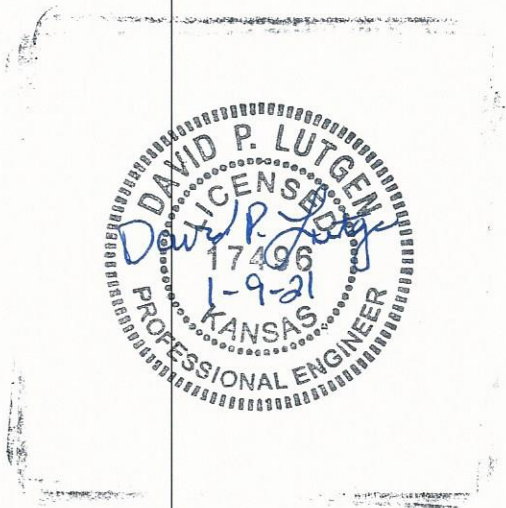
Joseph A. Herring
PS # 1296

Tiner Acres
Leavenworth County Kansas

Drainage Report

Prepared December 12, 2020

Revised January 9, 2021



Tiner Acres
Leavenworth County Kansas

Drainage Report

Prepared December 12, 2020

Revised January 9, 2021

Parcel Information - The 30-acre (+/-) parcel is located north of State Avenue on the east side 182nd Street in Leavenworth County KS. The parcel is zoned RR 2.5. Approximately 8 acres of the parcel is wooded. There is a home and barn in the northwest side of the property and the remainder of the parcel is pasture.

Existing Conditions – The site can be divided into two drainage areas, see exhibit #1. All storm water runoff from the site flows to the northeast corner of State Ave & 182nd St where it then flows west into Stranger Creek.

A composite c value was calculated for each drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and existing land use, see Exhibits #2 and #3.

Existing	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.30	8.0	0.0	
Pasture	0.30	14.8	7.2	
Crops	0.50	0.0	0.0	
Impervious	0.90	0.1	0.0	
Composite c		0.30	0.30	

$$\text{composite c} = \frac{(\text{Wooded Acres} * 0.30 + \text{Pasture Acres} * 0.30 + \text{Crop Acres} * 0.50 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create 2 residential building lots that are both approx. 15 acres in size. The developed storm water runoff calculations include 10,000 sq ft of impervious area for lot #2. This impervious area will account for the driveway, house footprint, and outbuilding. The remainder of the lot, outside of the wooded areas, is assumed to be maintained as pasture. A c value of 0.30 is used for pasture area while a c value of 0.90 is used for the impervious areas. A composite c value for each drainage area was calculated as shown below.

Developed	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.30	8.0	0.0	
Pasture	0.30	14.6	7.2	
Crops	0.50	0.0	0.0	
Impervious	0.90	0.3	0.0	
Composite c		0.31	0.30	

$$\text{composite } c = \frac{(\text{Wooded Acres} * 0.30 + \text{Pasture Acres} * 0.30 + \text{Crop Acres} * 0.50 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	33.7	60.6
Developed	35.0	62.9
Change	4%	4%

The increase in storm water runoff results in a 0.01-ft rise at the property line in a 10-yr storm and a 0.02-ft rise in a 100-yr storm, see exhibits #4 – #7.

Conclusion – The creation of an additional building lot on this parcel of ground results in a 4% increase in storm water runoff from the property.

NORTH
↑
NTS

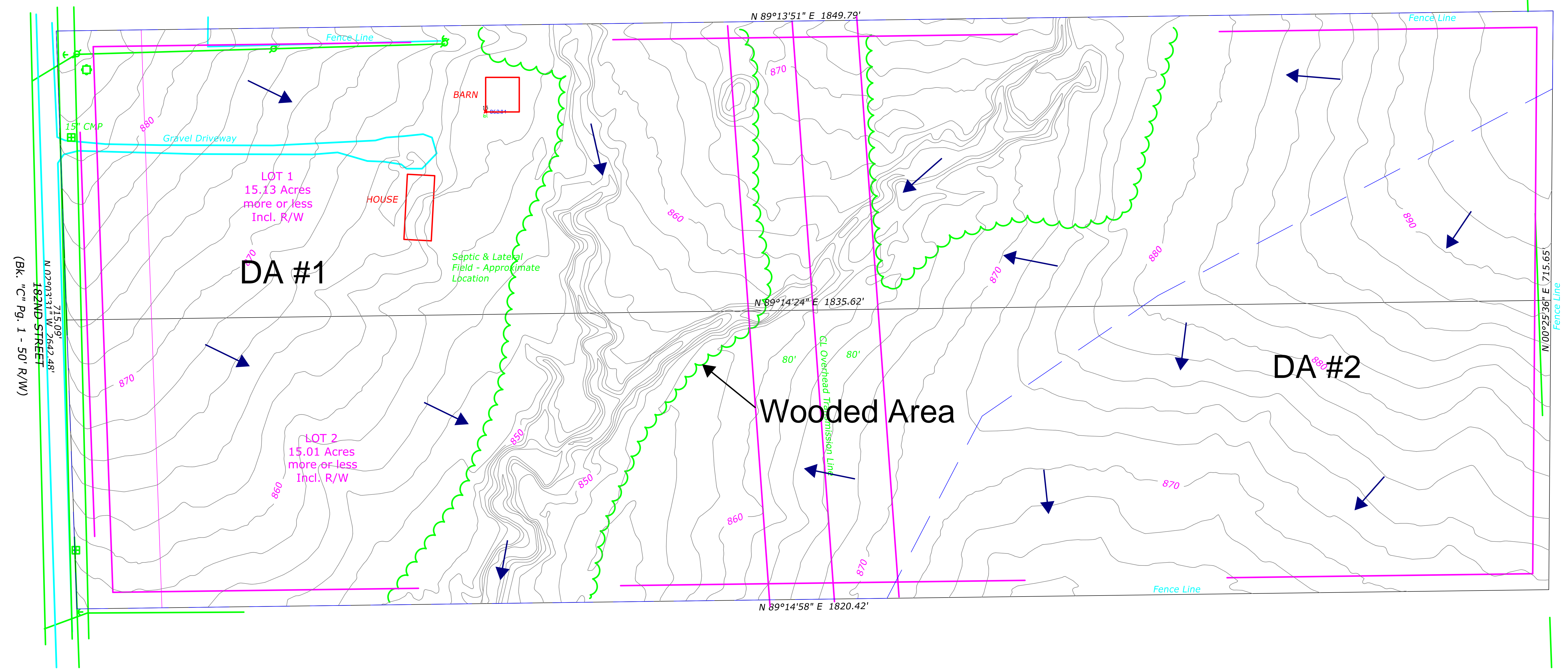


EXHIBIT #1

(Blk. "C" Pg. 1 - 50' R/W)

TABLE 1 Values of Runoff Coefficient C

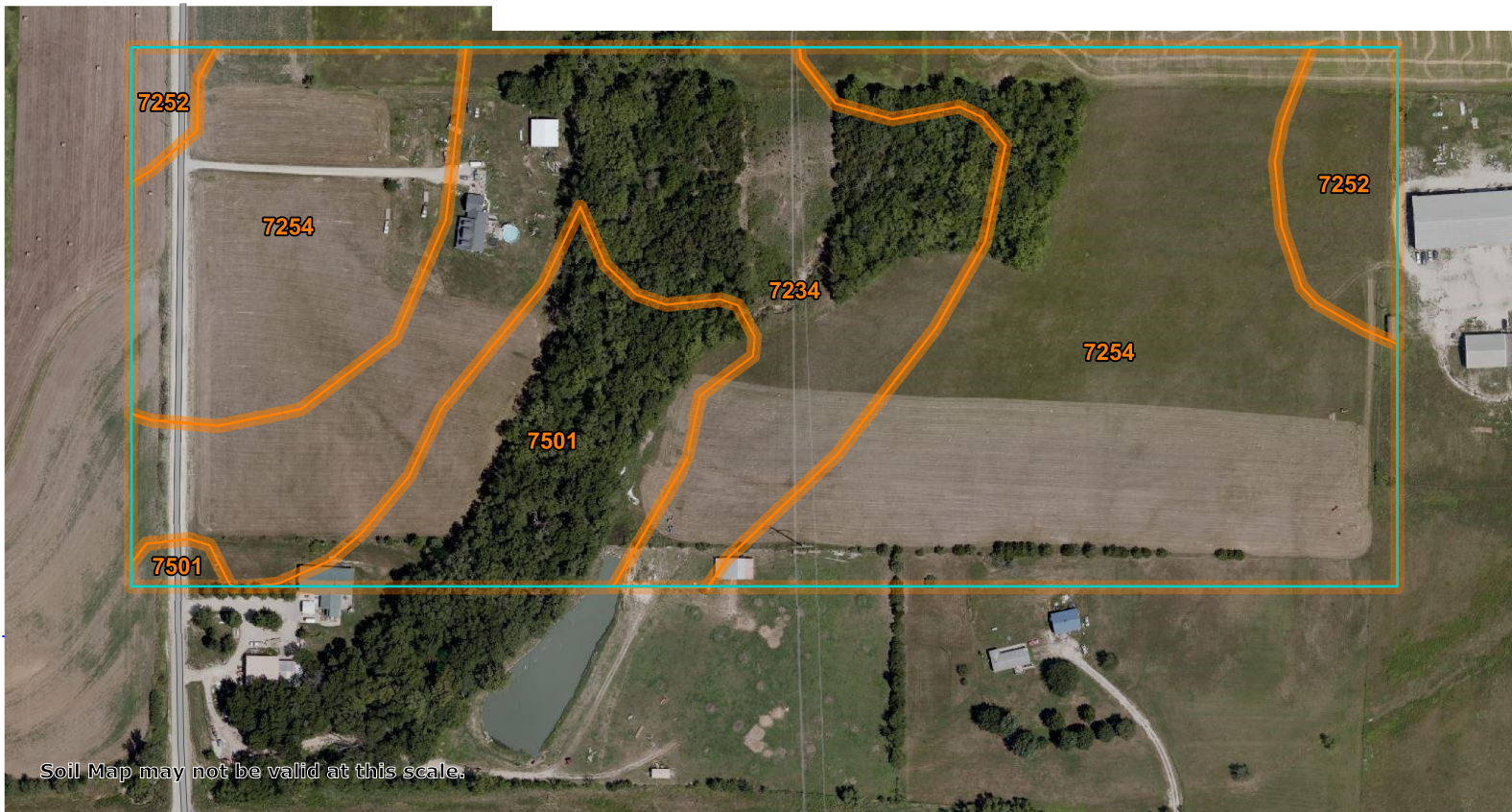
URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas	0.50
Neighborhood areas	0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached	0.60 - 0.75
Multi units, attached	0.25 - 0.40
Suburban	0.50 - 0.70
Apartment dwelling areas	
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

EXHIBIT #2



Map Scale: 1:3,270 if printed on A landscape (11" x 8.5") sheet.



USDA Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7234	Elmont silt loam, 3 to 7 percent slopes, eroded	11.7	31.6%
7252	Grundy silty clay loam, 1 to 3 percent slopes	2.0	5.4%
7254	Grundy silty clay loam, 3 to 7 percent slopes, eroded	18.8	50.5%
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded	4.6	12.4%
Totals for Area of Interest		37.1	100.0%

EXHIBIT #3

Channel Report

Project Name: New Project

Studio Express by Hydrology Studio v 1.0.0.8

01-09-2021

Pre-Platting 10 yr

Channel 1

TRAPEZOIDAL

Bottom Width = 10.00 ft
 Side Slope Left, z:1 = 4.00
 Side Slope Right, z:1 = 4.00
 Total Depth = 2.00 ft
 Invert Elevation = 100.00 ft
 Channel Slope = 1.000 %
 Manning's n = 0.030

DISCHARGE

Method = Known Q
 Known Q = 33.70 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
33.70	0.75	9.75	3.46	16.18	0.030	0.65	100.75	100.94	0.47	16.00

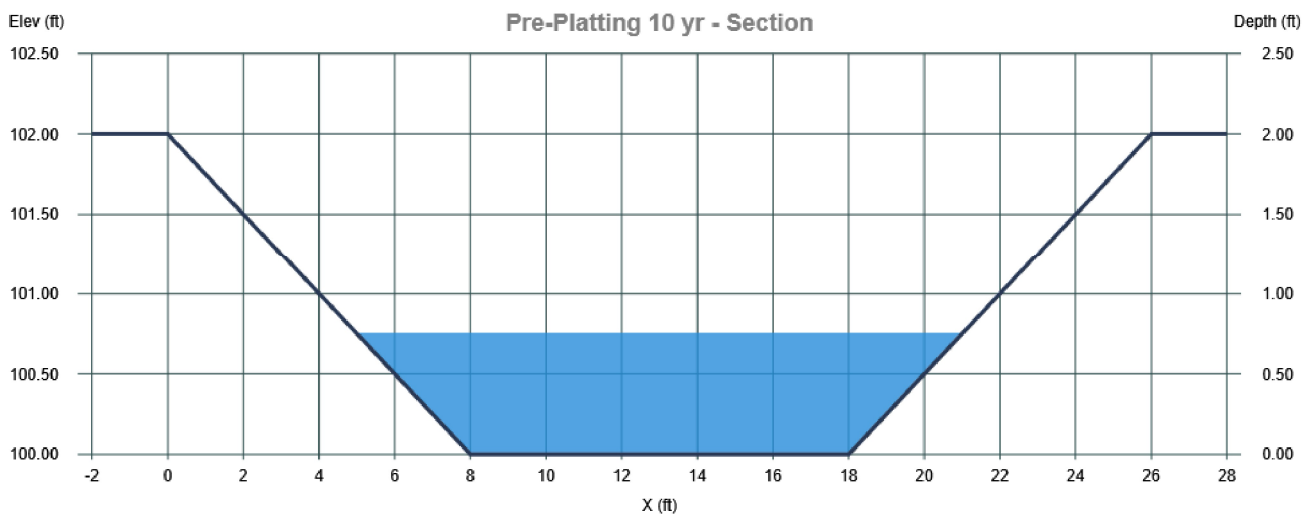


EXHIBIT #4

Channel Report

Project Name: New Project

Studio Express by Hydrology Studio v 1.0.0.8

01-09-2021

Post-Platting 10 yr

Channel 2

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 35.00 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
35.00	0.76	9.91	3.53	16.27	0.030	0.67	100.76	100.95	0.47	16.08

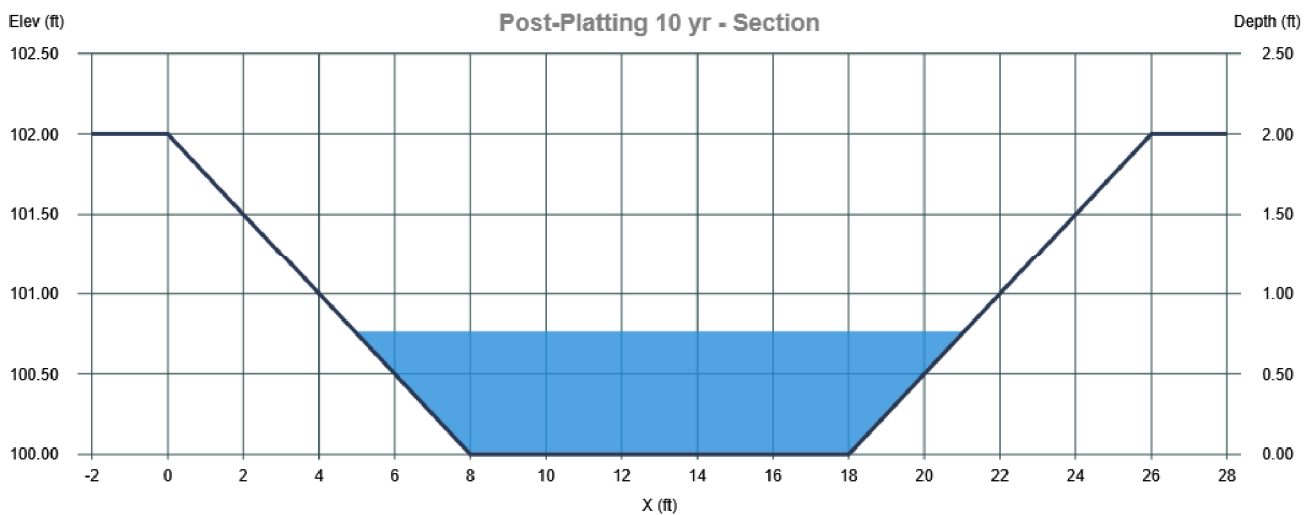


EXHIBIT #5

Channel Report

Project Name: New Project

Studio Express by Hydrology Studio v 1.0.0.8

01-09-2021

Pre-Platting 100 yr

Channel 3

TRAPEZOIDAL

Bottom Width = 10.00 ft
 Side Slope Left, z:1 = 4.00
 Side Slope Right, z:1 = 4.00
 Total Depth = 2.00 ft
 Invert Elevation = 100.00 ft
 Channel Slope = 1.000 %
 Manning's n = 0.030

DISCHARGE

Method = Known Q
 Known Q = 60.60 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
60.60	1.03	14.54	4.17	18.49	0.030	0.92	101.03	101.30	0.64	18.24

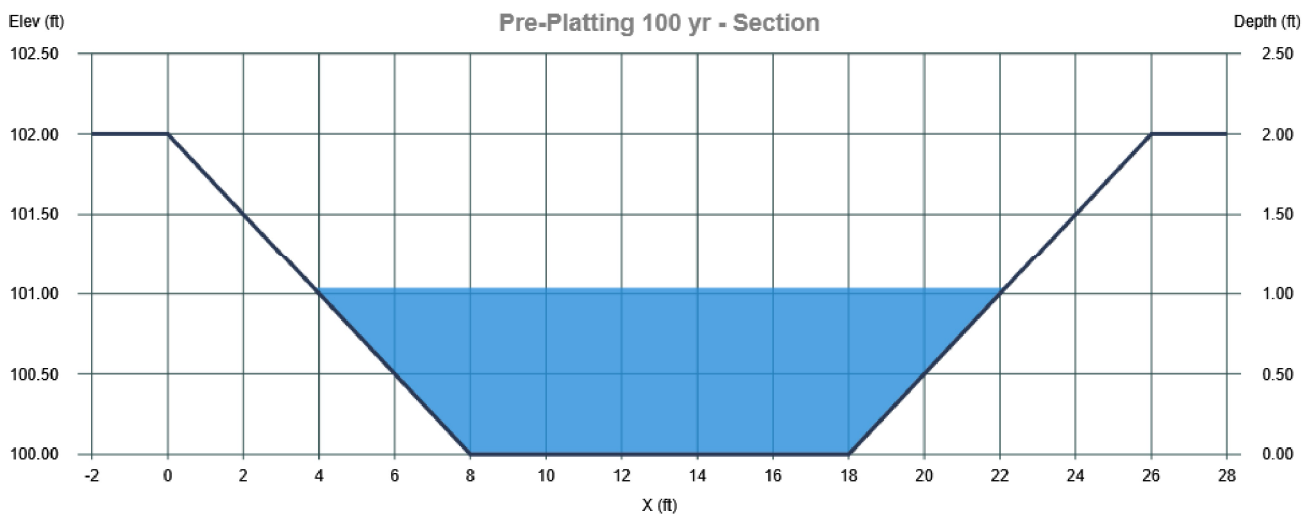


EXHIBIT #6

Channel Report

Project Name: New Project

Studio Express by Hydrology Studio v 1.0.0.8

01-09-2021

Post-Platting 100 yr

Channel 4

TRAPEZOIDAL

Bottom Width = 10.00 ft
Side Slope Left, z:1 = 4.00
Side Slope Right, z:1 = 4.00
Total Depth = 2.00 ft
Invert Elevation = 100.00 ft
Channel Slope = 1.000 %
Manning's n = 0.030

DISCHARGE

Method = Known Q
Known Q = 62.90 cfs

CALCULATION SAMPLE

Flow	Depth	Area	Velocity	WP	n-value	Crit Depth	HGL	EGL	Max Shear	Top Width
(cfs)	(ft)	(sqft)	(ft/s)	(ft)		(ft)	(ft)	(ft)	(lb/sqft)	(ft)
62.90	1.05	14.91	4.22	18.66	0.030	0.94	101.05	101.33	0.66	18.40

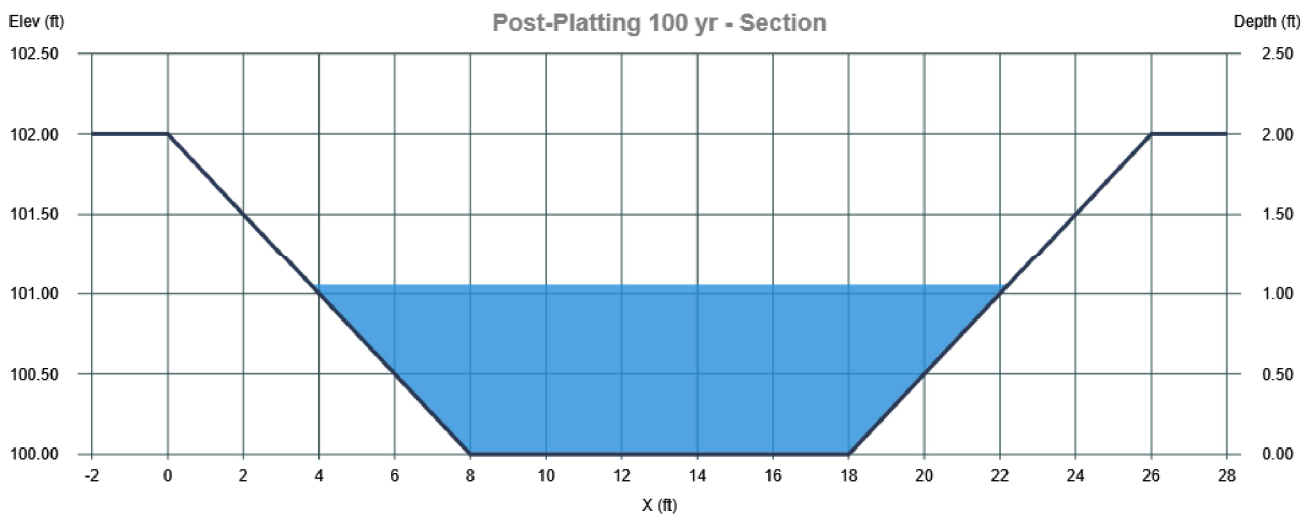


EXHIBIT #7

Drainage Area #1- 10 year

Existing Conditions

Area = 22.9 acres
C= 0.30
L= 1080
S= 4.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

C= 0.30

$$T_i = 15.1$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

L= 1080

S= 4.5

$$T_t = 1.80$$

$$T_c = 16.9$$

$$i_{10} = 4.91$$

$$Q = KCiA$$

$$Q = 33.7 \text{ cfs}$$

Developed Conditions

Area = 22.9 acres
C= 0.31
L= 1080
S= 4.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8)$$

5 < T_c < 15

C= 0.31

$$T_i = 14.9$$

$$i_{10} = 214/(T_c + 26.7)$$

15 < T_c < 60

L= 1080

S= 4.5

$$T_t = 1.80$$

$$T_c = 16.7$$

$$i_{10} = 4.93$$

$$Q = KCiA$$

$$Q = 35.0 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 22.9 acres
C= 0.30
L= 1080
S= 4.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 15.1$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 1.80$$

$$T_c = 16.9$$

$$i_{100} = 7.06$$

$$Q = KCiA$$

$$Q = 60.6 \text{ cfs}$$

Developed Conditions

Area = 22.9 acres
C= 0.31
L= 1080
S= 4.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 14.9$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 1.80$$

$$T_c = 16.7$$

$$i_{100} = 7.09$$

$$Q = KCiA$$

$$Q = 62.9 \text{ cfs}$$

From: [Mitch Pleak](#)
Sent: Monday, January 11, 2021 2:47 PM
To: [Clements, Jared](#)
Cc: [Noll, Bill](#); [Voth, Krystal](#); [019-2831](#); [Anderson, Lauren](#)
Subject: RE: Tiner Acres Review Packet

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Jared,
Olsson has no further comments on the Drainage Report submitted and in the link below:

<https://oaconsulting.sharefile.com/d-s5398d388ed354ea7a7b6b676b1092e4a>

Thanks,

Mitch Pleak

From: David Lutgen
Sent: Saturday, January 9, 2021 7:42 AM
To: Clements, Jared
Cc: Joe Herring ; Noll, Bill ; Voth, Krystal ; Mitch Pleak
Subject: Re: Tiner Acres Review Packet

Jared,

Revised drainage report for Tiner Acres is attached.

Thanks

David Lutgen, P.E.

On Fri, Jan 8, 2021 at 4:07 PM Clements, Jared <JClements@leavenworthcounty.gov> wrote:

Good Afternoon Joe,

Please find the attached reviews of Tiner Acres Drainage Report, Preliminary, and Final Plat, as well a comments from Planning & Zoning Staff below. Please make these adjustments and receive approval from our reviewers prior to Friday, January 29th, 2021.

- Label Final Plat as Final Plat.
- Correct the Range number on the Vicinity Map.

Respectfully,

Jared Clements
Planner II
Leavenworth County
Planning & Zoning

From: Joe Herring <herringsurveying@outlook.com>
Sent: Wednesday, December 23, 2020 1:50 PM

From: [Van Parys, David](#)
Sent: Monday, January 4, 2021 8:12 AM
To: [Clements, Jared](#)
Subject: RE: DEV-20-154 & 155 Preliminary and Final Plat - Tiner Acres

Jared, No apparent legal concerns.

From: Clements, Jared
Sent: Thursday, December 31, 2020 2:03 PM
To: Magaha, Chuck ; Van Parys, David ; Thorne, Eric ; Miller, Jamie ; stfdchief1760@gmail.com; 'Tyler Lee Rebel' ; 'Travis@SuburbanWaterInc.com'
Subject: DEV-20-154 & 155 Preliminary and Final Plat - Tiner Acres

The Leavenworth County Department of Planning & Zoning has received a request for a Preliminary & Final Plat for Tiner Acres, a two-Lot subdivision near 182nd Street and State Avenue.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
(913)684-0465

From: [Matt Roecker](#)
Sent: Monday, January 4, 2021 3:06 PM
To: [PZ](#)
Subject: RE: DEV-20-154 & 155 Preliminary and Final Plat - Tiner Acres

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Internal Use Only

LV CO:

On behalf of the owners, the purpose of this e-mail is to inform you that Westar Energy is the electric utility provider for within 154 & 155 of Tiner acres Leavenworth County.

Thank you,

Matt Roecker

Evergy

TD Designer III

matt.roecker@evergy.com

913-667-5116

DEV-20-154 & 155 Preliminary and Final Plat - Tiner Acres

TINER ACRES

A Minor Subdivision in the Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
Lanny D. & Nanette M. Tiner
19050 182nd Street
Tonganoxie, KS 66086
PID # 183-05-0-00-00-010.02

SURVEYOR'S DESCRIPTION:
A tract of land in Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Commencing at the Southwest corner of said Southwest Quarter; thence North 02 degrees 03'31" West for a distance of 607.46 feet along the West line of said Southwest Quarter; thence continuing North 02 degrees 03'31" West for a distance of 713.73 feet along said West line; thence North 89 degrees 11'20" East for a distance of 1851.09 feet; thence South 00 degrees 25'36" West for a distance of 715.65 feet; thence South 89 degrees 14'58" West for a distance of 1820.10 feet to the point of beginning, Together with and subject to covenants, easement and restriction of record. Said property contain 30.13 acres, more or less, including road right of way.

RECORD DESCRIPTION:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., more fully described as follows: Beginning at the Northwest corner of the South 1/2 of the Southwest 1/4 of said Section 5; thence South 89 degrees 13' 59" East on the North line of the South 1/2 of the Southwest 1/4 of said Section 5 a distance of 1851.10 feet to the Northwest corner of Tract "F"; thence South 01 degrees 58' 27" West on the West line of Tract "F" a distance of 799.99 feet; thence North 89 degrees 13' 59" West a distance of 1816.74 feet to the West line of the Southwest 1/4 of said Section 5; thence North 00 degrees 29' 12" West on the West line of the Southwest 1/4 of said Section 5 a distance of 800.00 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas

Also less the following:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., described as follows: Commencing at the Southwest corner of the Southwest 1/4 of Section 5; thence North 00 degrees 29' 12" West, 521.42 feet along the West line of the Southwest 1/4 of Section 5; thence, South 89 degrees 13' 59" East, 1090.00 feet to the point of beginning of this tract; thence, North 00 degrees 29' 12" West, 85.00 feet; thence, South 89 degrees 13' 59" East, 730.39 feet; thence, South 01 degrees 58' 27" West, 85.00 feet; thence North 89 degrees 13' 59" West, 726.74 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

AND

Also less the following:

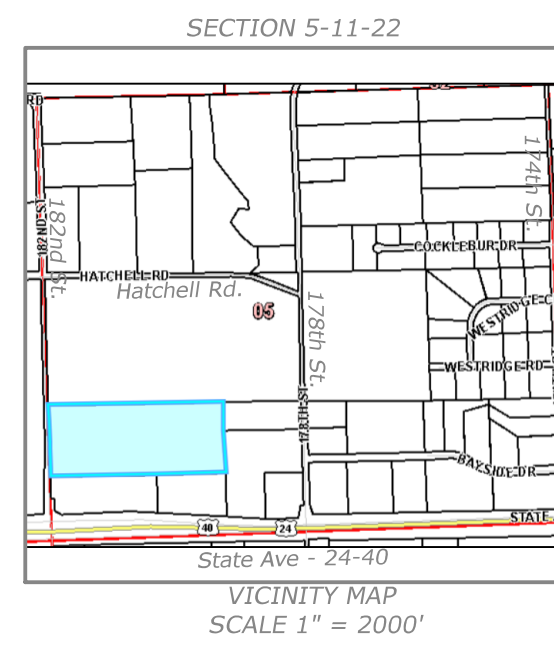
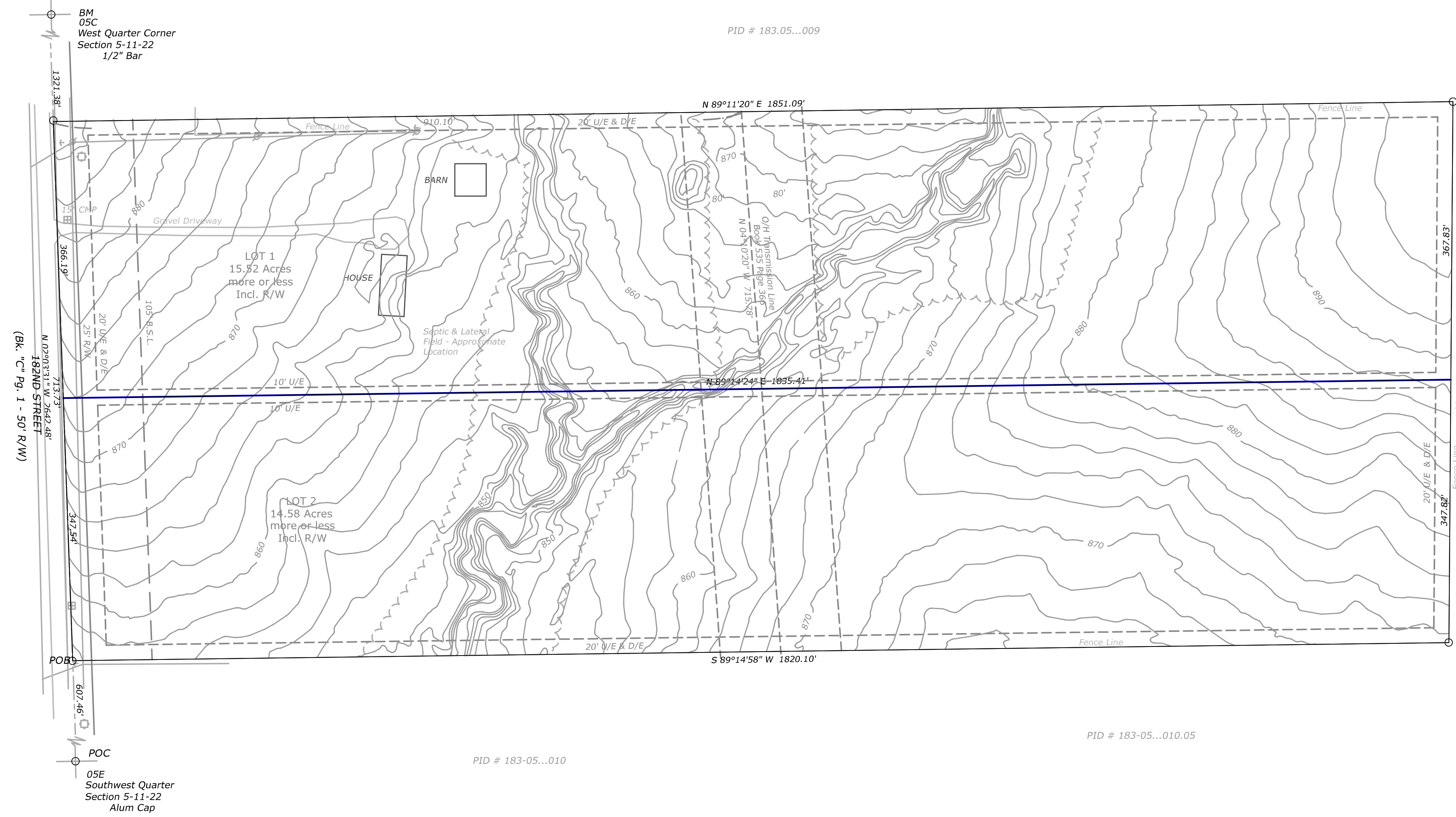
A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., described as follows: Commencing at the Southwest corner of the Southwest 1/4 of Section 5, Township 11 South, Range 22 East; thence, North 00 degrees 29' 12" West, 521.42 feet along the West line of the Southwest 1/4 of Section 5 to the Point of Beginning of this tract; thence, North 00 degrees 29' 12" West, 85.00 feet; thence, South 89 degrees 13' 59" East, 1,090.00 feet; thence, South 00 degrees 29' 12" East, 85.00 feet; thence, North 89 degrees 13' 59" West, 1090.00 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

ZONING:
RR-2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

- NOTES:**
- 1) This survey does not show ownership.
 - 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
 - 3) All recorded and measured distances are the same, unless otherwise noted.
 - 4) Error of Closure - See Error of Closure Calculations
 - 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
 - 6) Point Origin Unknown, unless otherwise noted.
 - 7) Proposed Lots for Residential Use.
 - 8) Road Record - See Survey
 - 9) Benchmark - NAVD88
 - 10) Project Benchmark (BM) - Northwest Corner - 5/8" Bar - 894'
 - 11) Easements, if any, are created hereon or listed in referenced title commitment.
 - 12) Reference Recorded Deed Document No. 2017R10331
 - 13) Utility Companies -
- Water - Suburban
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
 - 14) Reference Old Republic National Title Insurance Co. File Number TX0014158 updated September 4, 2019
 - 15) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
 - 16) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
 - 17) Distances to and of structures, if any, are +- 1'.
 - 18) Easements as per referenced Title Commitment are shown hereon
- Right of way Easement Bk. 339 Pg. 239, blanket description, to KP&L, not shown hereon.
 - 19) Fence Lines do not necessarily denote the boundary line for the property.
 - 20) Reference Surveys: (DWG) - D.G.White Survey - unrecorded.
 - 21) Boundary of Plat is a retracement of above referenced survey.

RESTRICTIONS:

- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy
- 5) No off-plat restrictions.



- LEGEND:**
- - 1/2" Bar Set with Cap No. 1296
 - - 1/2" Bar Found, unless otherwise noted.
 - - Concrete Base to be Set around Point
 - △ - PK Nail Found in Place
 - () - Record / Deeded Distance
 - U/E - Utility Easement
 - D/E - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement dedicated this plat
 - Centerline
 - Section Line
 - BM - Benchmark
 - - Power Pole
 - X - Fence Line
 - OHP - Overhead Power Lines
 - T - Underground Telephone/Fiber Optic Line
 - ◇ - Gas Valve
 - ⊕ - Water Meter/Valve
 - ⊕ - Telephone Pedestal
 - W - 6" Water Line - location as per district
 - ~ - Tree/Brush Line

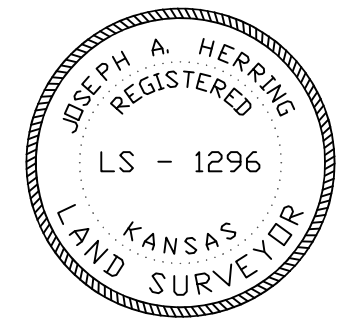
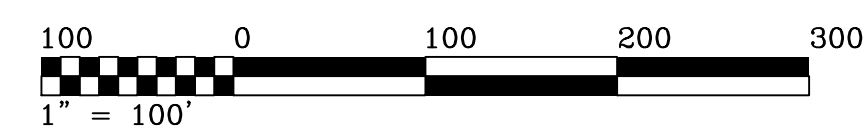


Scale 1" = 100'

Job # K-20-1414
December 20, 2020 Rev. Jan. 10, 2021



315 North 5th Street, Leav., KS 66048
Ph. 913.651.3858 Fax 913.674.5361
Email - survey@eamcash.com



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

TINER ACRES

A Minor Subdivision in the Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
Lanny D. & Nanette M. Tiner
19050 182nd Street
Tonganoxie, KS 66086
PID # 183-05-0-00-00-010.02

SURVEYOR'S DESCRIPTION:
A tract of land in Southwest Quarter of Section 5, Township 11 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Commencing at the Southwest corner of said Southwest Quarter; thence North 02 degrees 03'31" West for a distance of 607.46 feet along the West line of said Southwest Quarter; thence continuing North 02 degrees 03'31" West for a distance of 713.73 feet along said West line; thence North 89 degrees 11'20" East for a distance 1851.09 feet; thence South 00 degrees 25'36" West for a distance of 715.65 feet; thence South 89 degrees 14'58" West for a distance of 1820.10 feet to the point of beginning.
Together with and subject to covenants, easement and restriction of record.
Said property contain 30.13 acres, more or less, including road right of way.

CERTIFICATION AND DEDICATION
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: TINER ACRES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,
We, the undersigned owners of TINER ACRES, have set our hands this _____ day of _____, 2021.

Lanny D. Tiner
Nanette M. Tiner

NOTARY CERTIFICATE:
Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Lanny D. Tiner and Nanette M. Tiner, husband and wife, to me personally known to be the same persons who executed the foregoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
My Commission Expires: _____ (seal)

APPROVALS
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of TINER ACRES this _____ day of _____, 2021.

Secretary Krystal A. Voth
Chairman Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer -

COUNTY COMMISSION APPROVAL:
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of TINER ACRES, this _____ day of _____, 2021.

Chairman
County Clerk
Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:
Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds -

COUNTY SURVEYOR
I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

COUNTY SURVEYOR -
Stephan C. Tuttle, KS PS No. 1252
Leavenworth County Reviewer

RECORD DESCRIPTION:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., more fully described as follows: Beginning at the Northwest corner of the South 1/2 of the Southwest 1/4 of said Section 5; thence South 89 degrees 13' 59" East on the North line of the South 1/2 of the Southwest 1/4 of said Section 5 a distance of 1851.10 feet to the Northwest corner of Tract "F"; thence South 01 degrees 58' 27" West on the West line of Tract "F" a distance of 799.99 feet; thence North 89 degrees 13' 59" West a distance of 1816.74 feet to the West line of the Southwest 1/4 of said Section 5; thence North 00 degrees 29' 12" West on the West line of the Southwest 1/4 of said Section 5 a distance of 800.00 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas

Also less the following:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., described as follows: Commencing at the Southwest corner of the Southwest 1/4 of Section 5; thence, North 00 degrees 29' 12" West, 521.42 feet along the West line of the Southwest 1/4 of Section 5; thence, South 89 degrees 13' 59" East, 1090.00 feet to the point of beginning of this tract; thence, North 00 degrees 29' 12" West, 85.00 feet; thence, South 89 degrees 13' 59" East, 730.39 feet; thence, South 01 degrees 58' 27" West, 85.00 feet; thence, North 89 degrees 13' 59" West, 726.74 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

AND

Also less the following:

A tract of land in the Southwest 1/4 of Section 5, Township 11 South, Range 22 East of the 6th P.M., described as follows: Commencing at the Southwest corner of the Southwest 1/4 of Section 5, Township 11 South, Range 22 East; thence, North 00 degrees 29' 12" West, 521.42 feet along the West line of the Southwest 1/4 of Section 5 to the Point of Beginning of this tract; thence, North 00 degrees 29' 12" West, 85.00 feet; thence, South 89 degrees 13' 59" East, 1,090.00 feet; thence, South 00 degrees 29' 12" East, 85.00 feet; thence, North 89 degrees 13' 59" West, 1090.00 feet to the point of beginning, less any part thereof taken or used for road purposes, in Leavenworth County, Kansas.

ZONING:

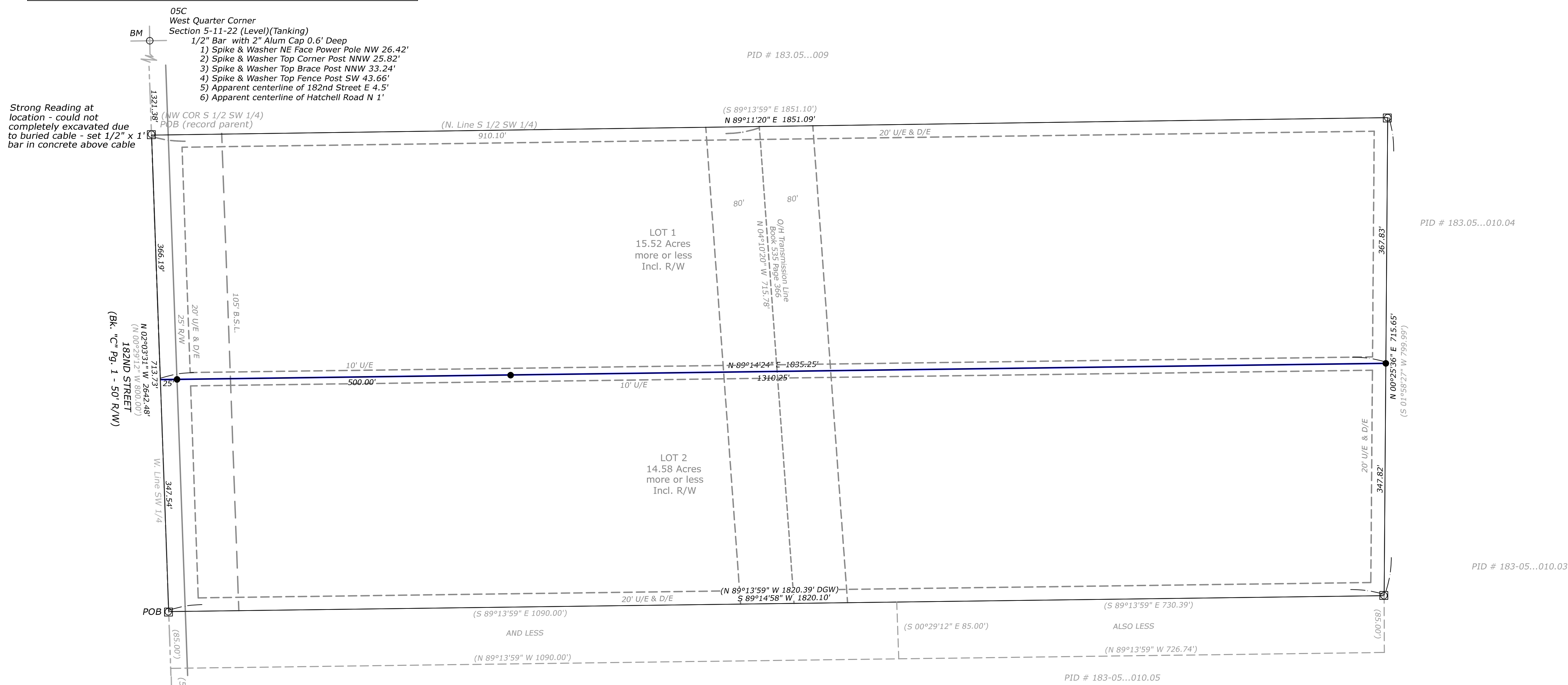
RR-2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

NOTES:

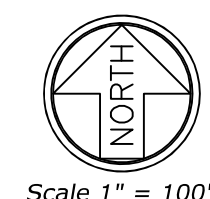
- 1) This survey does not show ownership.
- 2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
- 3) All recorded and measured distances are the same, unless otherwise noted.
- 4) Error of Closure - See Error of Closure Calculations
- 5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
- 6) Point Origin Unknown, unless otherwise noted.
- 7) Proposed Lots for Residential Use.
- 8) Road Record - See Survey
- 9) Benchmark - NAVD88
Project Benchmark (BM) - Northwest Corner - 894'
- 10) Easements, if any, are created hereon or listed in referenced title commitment.
- 11) Reference Recorded Deed Page 708 Page 1446
- 12) Utility Companies -
- Water - Suburban
- Electric - Energy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
- 13) Reference Lawyer's Title Insurance Company Case Number 41942 updated December 11, 2020
- 14) Property is not in a Special Flood Hazard Area per FEMA FIRM Map 20103C0350G dated July 16, 2015
- 15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
- 16) Distances to and of structures, if any, are + - 1'.
- 17) Easements as per referenced Title Commitment are shown hereon
- Oil and Gas Lease Book 237, Page 137, blanket in nature, not shown.
- Easement granted to Kansas City Power & Light Company, Book 922 Page 1158, lies within platted 20' U/E & D/E along south line.
- 160' wide Easement granted to Western Resources Book 535 Page 785, does affect subject property and is shown hereon.
- Easement to Southwestern Bell Telephone Company Book 986 Page 245, lies within right of way of 182nd Street and platted 20' U/E & D/E
- 18) Fence Lines do not necessarily denote the boundary line for the property.
- 19) Reference Surveys:
DWG - D.C.White Survey - unrecorded.
- 20) Boundary of Plat is a retracement of above referenced survey.

RESTRICTIONS:

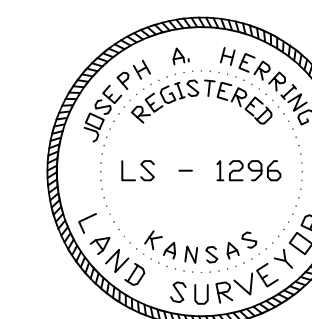
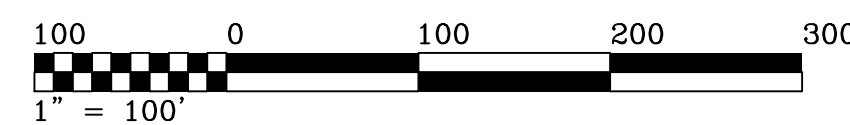
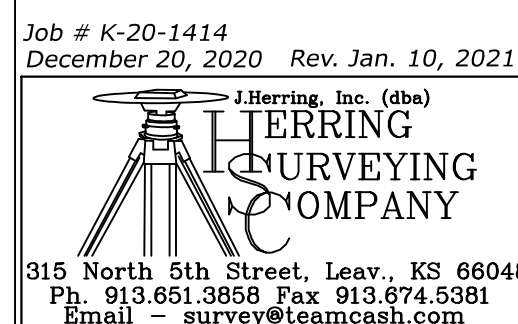
- 1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
- 2) An Engineered Waste Disposal System may be required due to poor soil conditions.
- 3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
- 4) Lots are subject to the current Access Management Policy
- 5) No off-plat restrictions.



- LEGEND:**
- - 1/2" Bar Set with Cap No. 1296
 - - 1/2" Bar Found, unless otherwise noted.
 - - Concrete Base to be Set around Point
 - △ - PK Nail Found in Place
 - () - Record / Deeded Distance
 - - - - Utility Easement
 - - - - Drainage Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement dedicated this plat
 - Centerline
 - Section Line
 - BM - Benchmark
 - POB - Point of Beginning
 - POC - Point of Commencing



Scale 1" = 100'



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

*****Consent Agenda*****
Case No. DEV-20-156/157
Sammons Estates

Preliminary and Final Plat with Cross Access Easement

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Richard & Georgiann Sammons
17344 Eisenhower Road
Leavenworth, KS 66048

Agent:

Legal Description: A tract of land in the east ½ of Section 17, Township 9 South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 17344 Eisenhower Road, located nearly ½ mile to the west of the Leavenworth/Lansing City Limits.

Parcel Size: ± 85 acres

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Mixed Residential land use category.

Parcel ID No.: 104-17-0-00-00-002.00

Planner: Krystal A. Voth

REPORT:

Request

The applicant is requesting a Preliminary and Final Plat for a four-lot subdivision with a cross access easement (private driveway).

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0150G July 16, 2015.

Utilities/Services

Sewer: Private septic system

Fire: Fire 1

Water: RWD 8

Electric: Evergy

Access/Streets

The property is accessed by Eisenhower Road which is a County Arterial with a hard surface approximately 30' wide. The Cross Access Easement will provide access to each of the four lots.

Agency Comments

See attached comments – Memo – Olsson – Public Works, January 27, 2021

See attached comments – Memo –Becky Fousek – Rural Water District 8, January 16, 2021

Findings

1. The proposed subdivision is consistent with the zoning district of RR 2.5; Rural Residential Zoning 2.5 -acre minimum size parcels.
2. The proposed subdivision meets the requirements for a Cross Access Easement.
3. The property is not within a sewer district boundary or is within 660 feet of the incorporated limits of a municipality; therefore, a waiver to the requirement of allowing private septic systems is supported by staff. A private sewage disposal permit may be issued per Leavenworth County Sanitary Code requirements.
4. The water district currently has adequate infrastructure to supply water to the lots within this subdivision but does not/cannot provide fire protection.
5. Additional access off of Eisenhower Road will not be granted.
6. The subdivision meets the zoning district requirements.

Subdivision Classification

This is classified as a Class "C" Subdivision. According to the Leavenworth County Zoning & Subdivision regulations, a Class "C" Subdivision is any subdivision in which all the lots lie within the Rural Growth Area of Leavenworth County. Staff is supportive of a waiver of the requirement to connect to a sanitary sewer system as sanitary sewers are not located within 660' of the subdivision.

Staff Comments

The applicant has requested a four-lot subdivision. The subdivision will be provided access off of Eisenhower Road via a cross access easement. The easement essentially functions as a private roadway. The lots vary in size from 5.5 acres to over 60 acres in size. Additional access will not be provided off of Eisenhower.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-156/157, Preliminary and Final Plat for Sammons Estates, a Cross Access Easement Plat, with the following conditions:

1. Building permits shall be required for any new construction.
2. Additional access off of Eisenhower shall not be allowed.
3. Erosion control shall be used when designing and constructing driveways. A form of sediment control shall be installed before work begins and maintained throughout the time that the land disturbing activities are taking place. Re-vegetation of all disturbed sites shall be completed within 45 days after completion of final grading weather permitting.
4. The applicant shall adhere to the following memorandums:
 - a. Olsson – Public Works, January 27, 2021
5. A waiver for the use of private septic systems within this subdivision is granted with this approval.
6. The developer shall work with the water district at the time of development regarding the installation of fire hydrants.
7. After approval of this subdivision by the Board of County Commission, all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

ACTION OPTIONS:

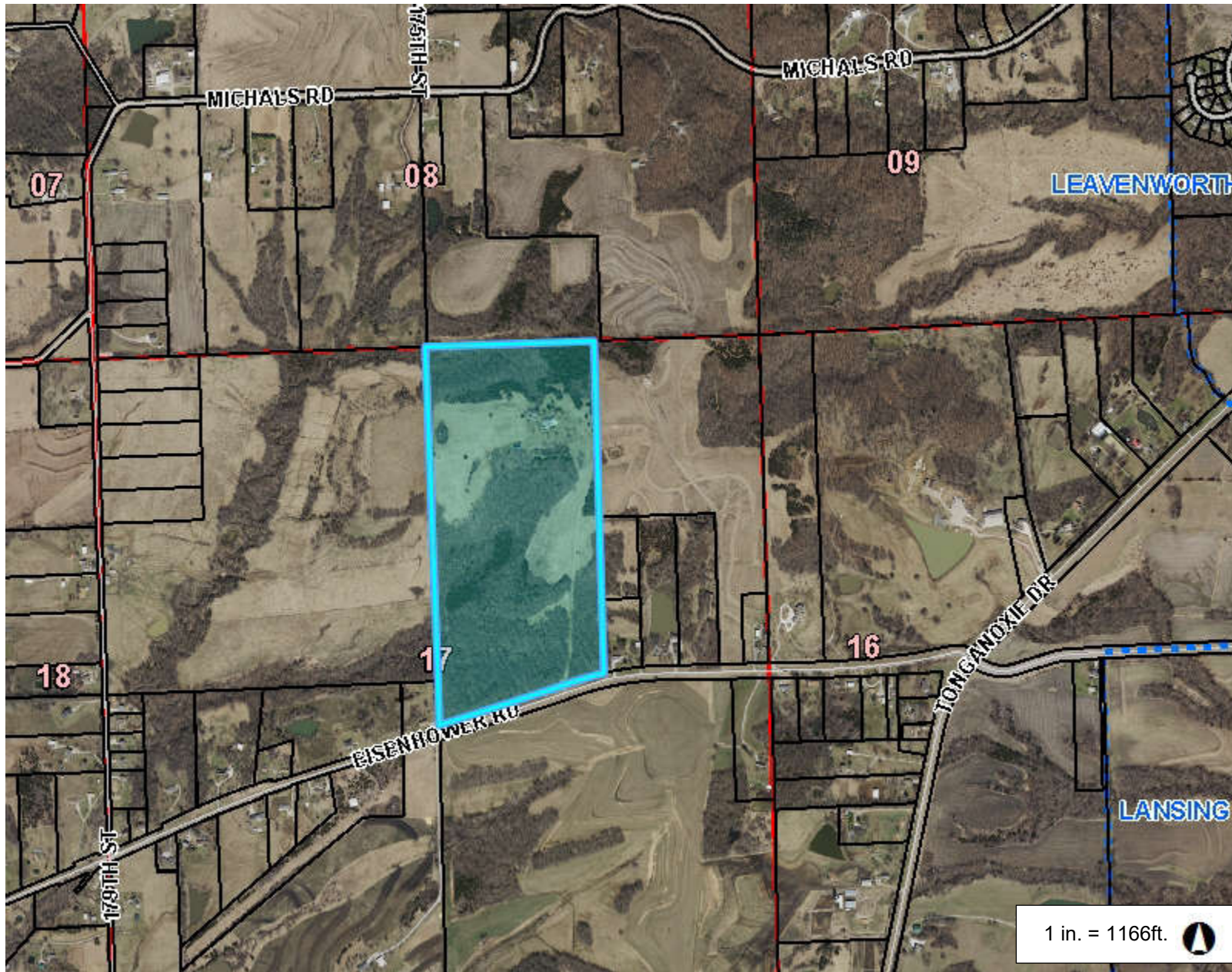
1. Recommend approval of Case No DEV-20-156/157, Preliminary and Final Plat for Sammons Estates, a Cross Access Easement, to the Board of County Commission, with or without conditions; or

2. Recommend denial of Case DEV-20-156/157, Preliminary and Final Plat for Sammons Estates, a Cross Access Easement, to the Board of County Commission for the following reasons; or
3. Continue the hearing to another date, time, and place because;

ATTACHMENTS:

Aerial Map
Memorandums
Preliminary and Final Plat

Sammons Estates



Legend

- Parcel
- City Limit Line
- Major Road
- <all other values>
- 70
- Road
- Railroad
- Section
- Section Boundaries

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

RESOLUTION 2020-29

A resolution of the Leavenworth County Kansas Board of County Commission, to amend the following articles of the 2006 Zoning and Subdivision Regulations:

ARTICLE 43 – CROSS ACCESS EASEMENTS

Section 1. OVERVIEW

The purpose of this policy is to allow an administrative approval procedure for divisions of land to accommodate rural residential development within Leavenworth County where it is not desired by the applicant to build internal roads to County Standards. These developments shall be known as “Cluster Development” and they shall be accompanied by a subdivision plat in accordance with the Leavenworth County Zoning and Subdivision Regulations. These developments should be thoughtfully considered and should give forethought to future development.

Section 2. PROCEDURES

1. Cross Access Easements shall accompany a request for a subdivision development which shall be known as “Cluster Development.” The subdivision plat shall be subject to the requirements of the zoning district set forth in the Leavenworth County Zoning and Subdivision Regulations.
 - a. Parcels located within a Cluster Development shall be subject to the zoning district requirements for lot area and lot frontage in which the tract of land is located.
 - b. Parcels which are located within a Cluster Development shall be serviced by a “Cross Access Easement.” A Cross Access Easement shall provide access to each lot within a cluster development, but will in no way be considered a public, county-maintained road.
 - c. Lots within Cluster Developments shall be situated so that all lots are accessed by the cross-access easement. Cross access easements shall be subject to the Leavenworth County Access Management policy requirements for driveway spacing.
 - d. Cluster Developments with cross access easements shall not be permitted within 660’ of an incorporated city
2. The cross access easement shall be established by separate legal instrument and shall be recorded with the Leavenworth County Register of Deeds. A separate restrictive covenant that encompasses, by legal description, the entire development must be filed in conjunction with the easement. The covenant shall clearly state that maintenance of the cross access easement is the sole responsibility of the developer and/or the future property owners of the properties the CAE provides access to. The covenant shall clearly state the cross access easement is not a public right-of-way and will in no way be maintained by the County.
3. If any portion of the development lies within a FEMA designated regulatory floodplain, or if drainage channel or swales exist on the development that carry runoff from adjacent property, the FEMA designated regulatory floodplain, channel or swale shall be protected by grant of an easement according to the same standards that apply to typical subdivisions. Maintenance of the drainage easement shall be the responsibility of the property owner.

Section 3. ACCESS AND ROAD STANDARDS

1. A cluster development with an access easement shall have direct access to a fully maintained public road.
2. Only one access point shall be allowed for the entire development.

3. When established as part of a cluster development, the road and drainage plans submitted to County Staff shall be prepared and sealed by an engineer licensed in the State of Kansas.
4. There will be no consideration by the County to assume responsibility of the cross access easement until the cross access easement is built to the current County standard in place at the time the request is made to accept the roadway. Any improvements or upgrades will be the sole responsibility of the developer and/or the owners of the properties being accessed by the CAE.

Section 4. AMENDMENTS TO THE DEVELOPMENT

1. Any further division for development purposes is prohibited until an amended Replat is approved by the Governing Body and recorded with the Register of Deeds.

WHEREAS, it is hereby found that the Leavenworth County Planning Commission, after notice as required by law, did conduct a public hearing upon the amendment of the Leavenworth County Zoning and Subdivision Regulations the 12th day of August, 2020; and

WHEREAS, it is hereby found that the Leavenworth County Planning Commission, based upon specific findings of fact incorporated by reference herein, did recommend that the amendment be approved, as set forth; and


WHEREAS, the Board of County Commission considered, in session on 2nd day of September, 2020, the recommendation of the Leavenworth County Planning Commission.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commission of Leavenworth County, Kansas, that:

1. Based upon the recommendation and findings of fact of the Leavenworth County Planning Commission; and,
2. Based upon the findings of fact adopted by the Board of County Commission in regular session on the 2nd day of September, 2020 and incorporated herein by reference;

That the amendments listed herein be approved:

Adopted this 2nd day of September, 2020
Board of County Commission
Leavenworth, County, Kansas



Doug Smith, Chairman



Jeff Culbertson, Member

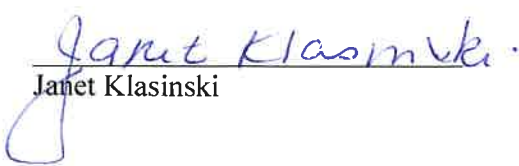


Vicky Kaaz, Member




Chad Schimke, Member





Janet Klasinski


/s/ Mike Stieben, Member

Voth, Krystal

From: Rural Water <rwd8lv@gmail.com>
Sent: Saturday, January 16, 2021 7:29 AM
To: Voth, Krystal
Subject: Re: Request for Comment - Three lot subdivision.

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Krystal,

In response to your email about the Sammons Estate:

- a. RWD#8 does have a waterline on the south side of Eis Rd. 4" waterline and there is a 2" waterline near the west property line and the east property line but, not across the frontage of the property line because there is a rock ledge.
- b. 4" waterline on southside of Eis. Rd. and 2" waterlines on west property line and east property line NO fire hydrants
- c. The water district would not allow fire hydrants
- d. The water district does not have any future plans to upgrade the service line to support fire hydrants.

NOTE: The proposed plat is not a typical public road accessed plat, therefore the property owner's would have to meet with RWD#8 Board of Directors and come to an agreement about the water line and water meter locations. Due to the amount of rock on the property frontage, there will be added costs for boring the service line.

Becky Fousek
Office Manager for RWD#8

On Fri, Jan 8, 2021 at 10:37 AM Voth, Krystal <KVoth@leavenworthcounty.gov> wrote:

Good morning,

Our office has received an application for a three lot cross access easement subdivision. Your written responses to the questions below are greatly appreciated by Monday, January 18. Thank you and have a great weekend!

- a. Does the water district have existing service lines in the vicinity of the proposed plat boundary to provide potable water to the lots of the subdivision?
- b. What is the size and location of the water line(s) and fire hydrants that are adjacent to this property?
- c. Would the water district allow fire hydrants to be installed on the existing service line(s) in the area of the proposed plat boundary?

d.Does the water district have plans to upgrade the service in this vicinity to such a level that fire hydrants can be installed in the foreseeable future, or within a set number of years? If so, what would the improvements consist of?

Respectfully,

Krystal A. Voth, CFM

Director

Planning & Zoning

Leavenworth County

913.684.0461

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*Becky Fousek
Office Manager
Rural Water District #8-LV CO*

SAMMONS ESTATES

A Cross Access Easement Plat in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:
Richard & Georgiann Sammons
17344 Eisenhower Road
Leavenworth, KS 66086
PID No. 104-17-0-00-002

RECORD DESCRIPTION:
The West half of the Northeast quarter (NE1/4) of Section 17, Township 9, Range 22, together with:
Beginning at a point 20 feet East of the center corner of Section 17, Township 9, Range 22; thence South 315 feet to the North line of Perryville Road; thence North 83 1/2° East, 706 feet along the North line of said road; thence North 66° East 600 feet to the half Section line running East and West through said Section 17; thence West along said half Section line 1245 feet to the place of beginning, it being understood this description is meant to convey the piece of land lying in the Northwest corner of the Southeast quarter of Section 17, Township 9, Range 22 lying and being North and West of the Perryville Road and East of the North and South road through the center of said Section 17, Leavenworth County, Kansas.

CERTIFICATION AND DEDICATION
The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: SAMMONS ESTATES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby dedicated for public use. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,
We, the undersigned owners of SAMMONS ESTATES, have set our hands this _____ day of _____, 2021.

Richard Sammons
Georgiann Sammons

NOTARY CERTIFICATE:
Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Richard Sammons and Georgiann Sammons, a married couple, to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC
My Commission Expires: _____ (seal)

APPROVALS
We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of SAMMONS ESTATES this _____ day of _____, 2021.

Secretary
Krystal A. Voth
Chairman
Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:
The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - _____

COUNTY COMMISSIONER APPROVAL:
We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of SAMMONS ESTATES, this _____ day of _____, 2021.

Chairman
Michael Smith
County Clerk
Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:
Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn

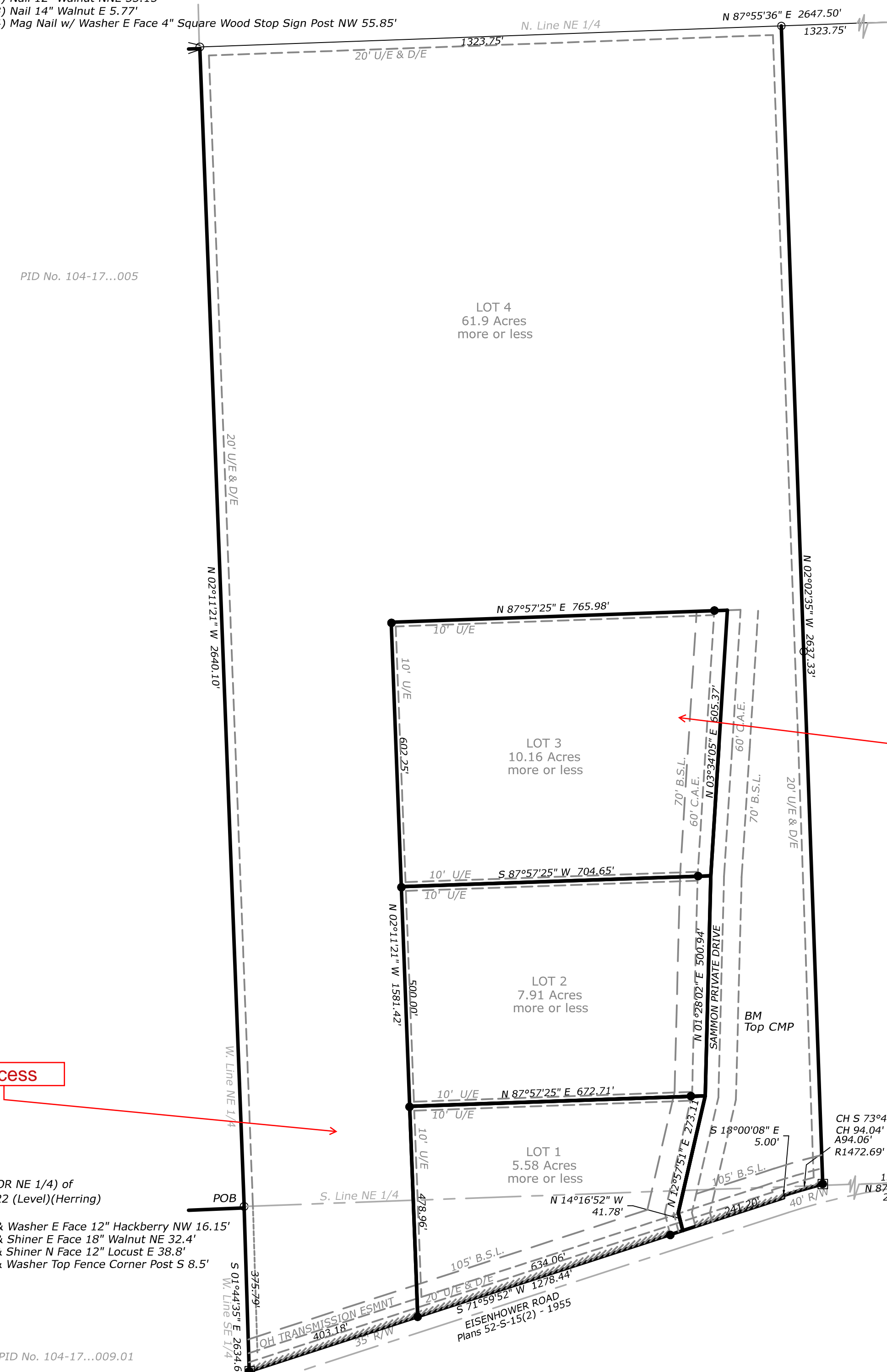
COUNTY SURVEYOR
I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

COUNTY SURVEYOR -
Stephan C. Tuttle, KS PS No. 1252
Leavenworth County Reviewer

SURVEYOR'S DESCRIPTION:
A tract of land in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of the Northeast Quarter of said Section 17; thence North 02 degrees 11'21" West for a distance of 2640.10 feet along the West line of said Northeast Quarter; thence North 87 degrees 55'36" East for a distance of 1323.75 feet along the North line of said Northeast Quarter; thence South 02 degrees 02'35" East for a distance of 2637.33 feet to the North right of way of Eisenhower Road, as it exists today; thence along a non-tangent curve to the left having a radius of 1472.69 feet and an arc length of 94.06 feet, being subtended by a chord bearing of South 73 degrees 49'39" West and a chord distance of 94.04 feet along said right of way; thence South 18 degrees 00'08" East for a distance of 5.00 feet along said right of way; thence South 71 degrees 59'52" West for a distance of 1278.44 feet along said right of way to the West line of the Southeast Quarter of said Section 17; thence North 01 degrees 44'35" West for a distance of 375.79 feet along said West line to the point of beginning, together with and subject to covenants, easement and restriction of record. Said property contain 85.69 acres, more or less, including road right of way. Error of Closure - 1 : 790401

POB
71
North Quarter Corner
Section 17-9-22 (Level)(M.D.Cooper / Herring)
1/2" Bar Found next to Stone & Fence Corner Post
1) Nail Top Fence Post N 17.41'
2) Nail 12" Walnut NNE 33.13'
3) Nail 14" Walnut E 5.77'
4) Mag Nail w/ Washer E Face 4" Square Wood Stop Sign Post NW 55.85'

09J
Northeast Corner
Section 17-9-22 (Level)(Herring)
1/2" Bar
1) 60d Nail in 20" Tree NNE 1.74'
2) 60d Nail in 12" Elm Tree NNW 6.37'
3) 60d Nail in 20" Maple Tree W 25.4'
4) Mag Nail in Post E 37.88'



01-27-2021
OLSSON REVIEW

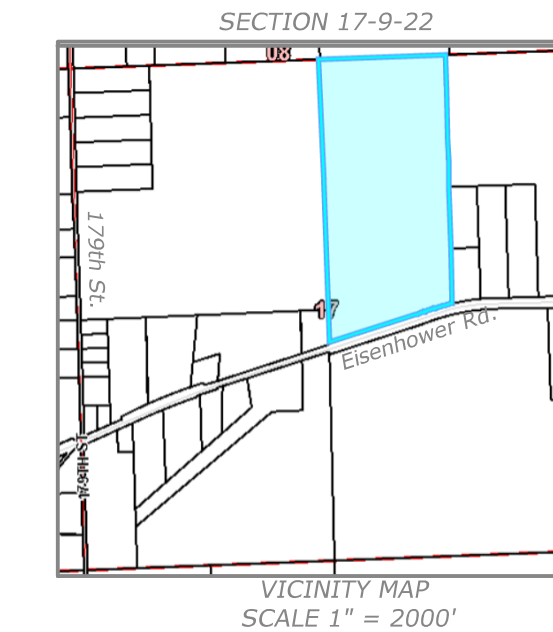
Planning & Zoning Comments
Added 1-27-2021

add note that Lot 1 and 4 access is limited from the cross access easement only.

RESTRICTIONS:
1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
2) An Engineered Waste Disposal System may be required due to poor soil conditions.
3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
4) Lots are subject to the current Access Management Policy.
5) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Cross Access Easement. General terms - each Lot Owner is responsible for a 25% share of maintenance of said area. Lots 1, 2, and 3, each have 1 vote and Lot 4 has 2 votes.
6) Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, drive, and drive appurtenances.

ZONING:
RR-2.5, Rural Residential, 2.5-Acre minimum size parcels - Current and proposed

NOTES:
1) This survey does not show ownership.
2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
3) All recorded and measured distances are the same, unless otherwise noted.
4) Error of Closure - See Error of Closure Calculations
5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
6) Point Origin Unknown, unless otherwise noted.
7) Proposed Lots for Residential Use.
8) Road Record - See Survey
9) Benchmark - NAVD88
Project Benchmark (BM) - East side Top 42" CMP - Elev 1048'
10) Easements, if any, are created hereon or listed in referenced title commitment.
11) Reference Recorded Deed Document No. 2020R07114
12) Utility Companies -
- Water - RWD 8
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
13) Reference McCaffree Short Title Owners & Encumbrances updated December 14, 2020
14) Property is not in a Special Flood Hazard Area per FEMA FIRMS Map 20103C0125 dated July 16, 2015
15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
16) Distances to and of structures, if any, are +- 1'.
17) Easements as per referenced Title Commitment are shown hereon
- Easement to Kansas Power & Light Book 633 Page 1488 - Overhead Transmission Line
- Oil & Gas Lease Book 533 Page 644, blanket description in nature - not shown.
18) Fence Lines do not necessarily denote the boundary line for the property.
19) Reference Surveys:
(LTH) - L.T.Hahn Survey Document No. 20175035
(JAH) - J.A.Herring recorded Plat - PARSON'S RIDGE



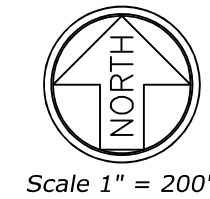
Standard Utility Easement

No Access

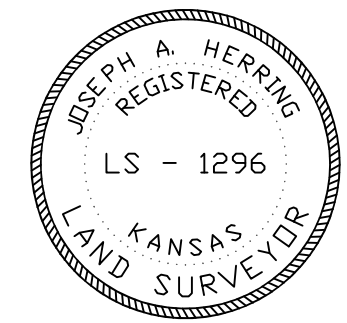
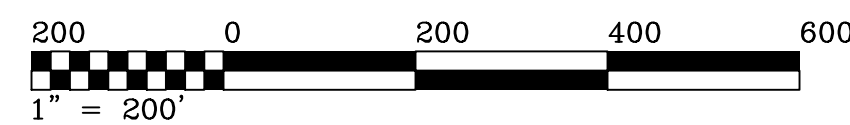
7L Center (SW COR NE 1/4) of Section 17-9-22 (Level)(Herring)
1/2" Bar
1) Nail & Washer E Face 12" Hackberry NW 16.15'
2) Nail & Shiner E Face 18" Walnut NE 32.4'
3) Nail & Shiner N Face 12" Locust E 38.8'
4) Nail & Washer Top Fence Corner Post S 8.5'

9L
East Quarter Corner
Section 17-9-22 (Level)(Hahn)
1/2" Pipe
1) Apparent Centerline S 9'+-
2) Nail with Washer in Corner Post S 60.9'
3) 1/2" Bar N 19.3'
4) PK Nail in 14" redbud NNW 59.4'

LEGEND:
● - 1/2" Bar Set with Cap No. 1296
○ - 1/2" Bar Found, unless otherwise noted.
□ - Concrete Base to be Set around Point
△ - PK Nail Found in Place
() - Record / Deeded Distance
U/E - Utility Easement
D/E - Drainage Easement
B.S.L. - Building Setback Line
R/W - Permanent Dedicated Roadway Easement dedicated this plat
C - Centerline
S - Section Line
BM - Benchmark
C.A.E. - Cross Access Easement
POB - Point of Beginning
//// - No Access



Job # K-20-1417
December 22, 2020 Rev. 1/25/21



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

SAMMONS ESTATES

A Common Access Easement Plat in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
Richard & Georglann Sammons
17344 Eisenhower Road
Leavenworth, KS 66086
PID No. 104-17-0-00-002

CROSS

RECORD DESCRIPTION:
The West half of the Northeast quarter (NE1/4) of Section 17, Township 9, Range 22, together with:
Beginning at a point 20 feet East of the center corner of Section 17, Township 9, Range 22; thence South 315 feet to the North line of Perryville Road; thence North 83 1/2° East. 706 feet along the North line of said road; thence North 68° East 600 feet to the half Section line running East and West through said Section 17; thence West along said half Section line 1245 feet to the place of beginning, it being understood this description is meant to convey the piece of land lying in the Northwest corner of the Southeast quarter of Section 17, Township 9, Range 22 lying and being North and West of the Perryville Road and East of the North and South road through the center of said Section 17, Leavenworth County, Kansas.

SURVEYOR'S DESCRIPTION:

A tract of land in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of the Northeast Quarter of said Section 17; thence North 02 degrees 11' 21" West for a distance of 2640.10 feet along the West line of said Northeast Quarter; thence North 87 degrees 55' 36" East for a distance of 1323.75 feet along the North line of said Northeast Quarter; thence South 02 degrees 02' 35" East for a distance of 2637.33 feet to the North right of way of Eisenhower Road, as it exists today; thence along a non-tangent curve to the left having a radius of 1472.69 feet and an arc length of 94.06 feet, being subtended by a chord bearing of South 73 degrees 49' 39" West and a chord distance of 94.04 feet along said right of way; thence South 18 degrees 00' 08" East for a distance of 5.00 feet along said right of way; thence South 71 degrees 59' 52" West for a distance of 1278.44 feet along said right of way to the West line of the Southeast Quarter of said Section 17; thence North 01 degrees 44' 35" West for a distance of 375.79 feet along said West line to the point of beginning, together with and subject to covenants, easement and restriction of record.
Said property contain 85.69 acres, more or less, including road right of way.
Error of Closure - 1 : 790401

PID No. 104-17...005

**01-27-2021
OLSSON REVIEW**

**Planning & Zoning Comments
Added 1-27-2021**

add note that Lot 1 and 4 access is limited from the cross access easement only.

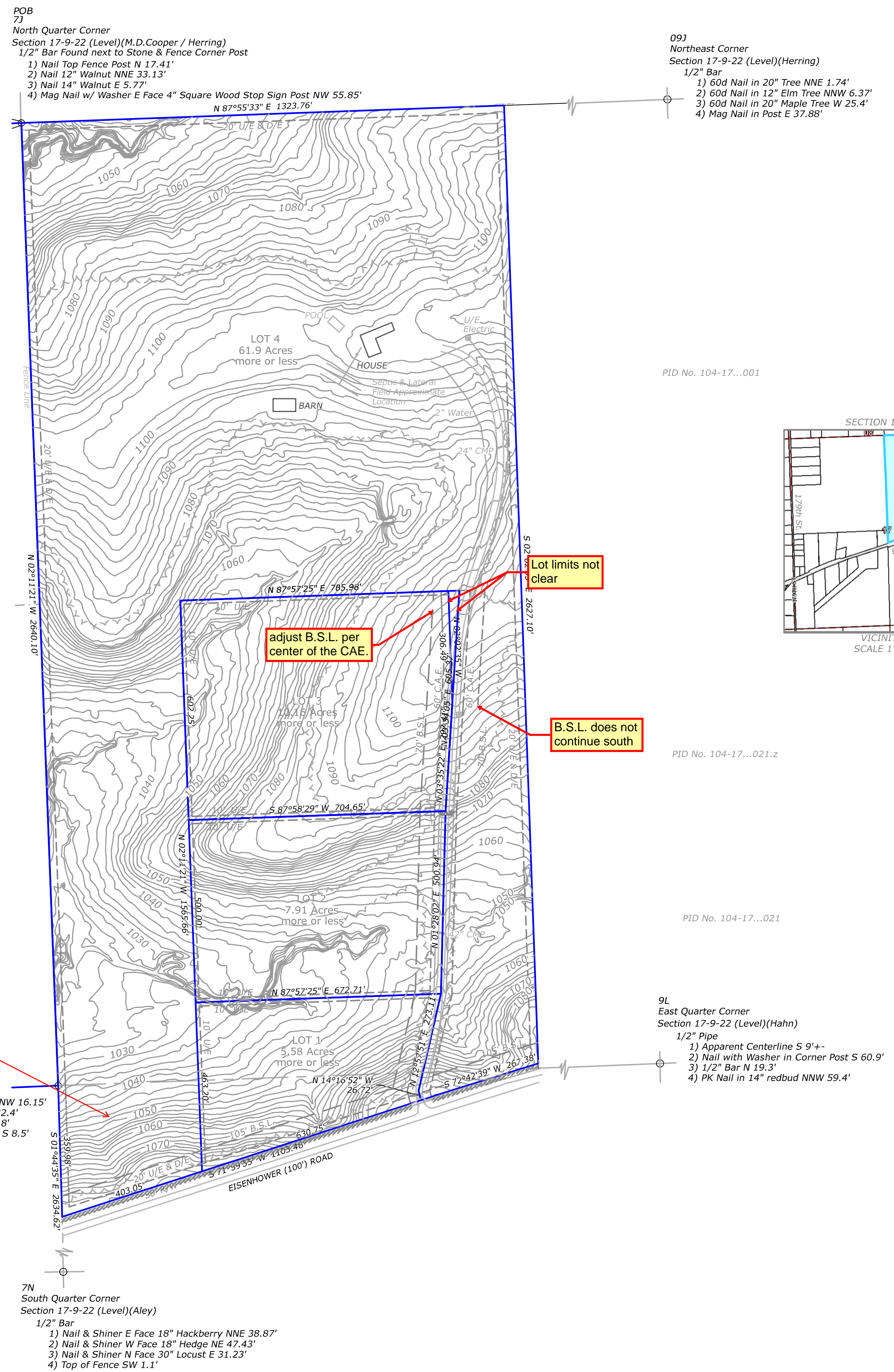
Add: Leavenworth County shall bear no responsibility for any maintenance and upkeep of the Cross Access Easement, drive, and drive appurtenances.

RESTRICTIONS:
1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
2) An Engineered Waste Disposal System may be required due to poor soil conditions.
3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
4) Lots are subject to the current Access Management Policy
5) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Common Access Easement. General terms - each Lot Owner is responsible for a 25% share of maintenance of said area. Lots 1, 2, and 3, each have 1 vote and Lot 4 has 2 votes.

Verify, GIS shows 2.5

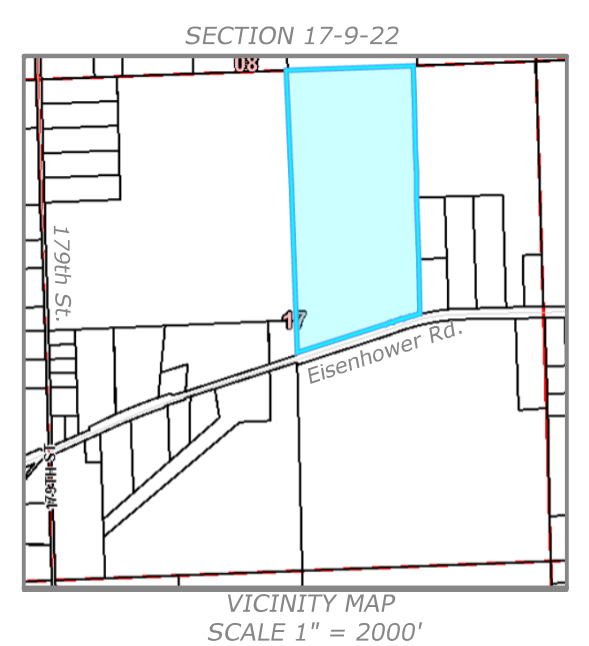
ZONING:
RR - Rural Residential, 5-Acre minimum size parcels - Current and proposed

NOTES:
1) This survey does not show ownership.
2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
3) All recorded and measured distances are the same, unless otherwise noted.
4) Error of Closure - See Error of Closure Calculations
5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
6) Point Origin Unknown, unless otherwise noted.
7) Proposed Lots for Residential Use.
8) Road Record - See Survey
9) Benchmark - NAVD88
Project Benchmark (BM) - Southwest Corner SW 1/4 - 963'
10) Easements, if any, are created hereon or listed in referenced title commitment.
11) Reference Recorded Deed Document No. 2017R10331
12) Utility Companies -
- Water - RWD 8
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
13) Reference Alliance Title Insurance Company Commitment Owners & Encumbrances updated December 7, 2020
14) Property is not in a Special Flood Hazard Area per FEMA FIRRM Map 20103C0325G & 350G dated July 16, 2015
15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
16) Distances to and of structures, if any, are ++ 1'.
17) Easements as per referenced Title Commitment are shown hereon
- No easements were listed on the provided O & E Report
18) Fence Lines do not necessarily denote the boundary line for the property.
19) Reference Surveys:
(LTH) - L.T.Hahn Survey Document No. 2017S035
(JAH) - J.A.Herring recorded Plat - PARSON'S RIDGE



09J
Northeast Corner
Section 17-9-22 (Level)(Herring)
1/2" Bar
1) 60d Nail in 20" Tree NNE 1.74'
2) 60d Nail in 12" Elm Tree NNW 6.37'
3) 60d Nail in 20" Maple Tree W 25.4'
4) Mag Nail in Post E 37.88'

PID No. 104-17...001



PID No. 104-17...021.z

PID No. 104-17...021

9L
East Quarter Corner
Section 17-9-22 (Level)(Hahn)
1/2" Pipe
1) Apparent Centerline S 9'+-
2) Nail with Washer in Corner Post S 60.9'
3) 1/2" Bar N 19.3'
4) PK Nail in 14" redbud NNW 59.4'

No Access

Lot limits not clear

adjust B.S.L. per center of the CAE.

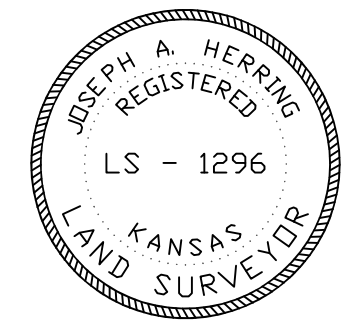
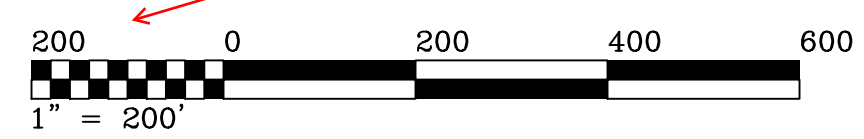
B.S.L. does not continue south

Scale does not meet requirement



Scale 1" = 200'

Job # K-20-1417
December 22, 2020 Rev. 1/25/21



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

HOME OWNER'S ASSOCIATION
SAMMONS ESTATES
LEAVENWORTH COUNTY, KANSAS

This Home Owner's Association is for SAMMONS ESTATES, a Cross Access Easement Subdivision in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., in Leavenworth County, Kansas.

Said SAMMONS ESTATES creates an area known as a Cross Access Easement (C.A.E.).

Said area is to be shared and used by all owners/parties within SAMMONS ESTATES for the rights of access and for utilities to be allowed to service all Lots (all utilities must be underground).

All Lot Owners are responsible for 25% of the total cost of maintenance of the C.A.E. area.

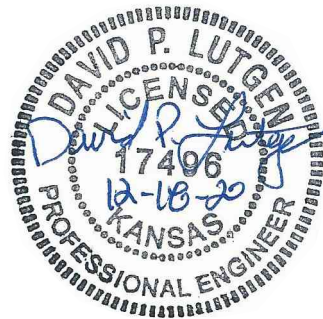
The Home Owners Association is comprised of the owners of Lots 1 thru 4, SAMMONS ESTATES.

Lots 1 thru 3 will each have a single vote per Lot in determining the maintenance issues.

Lot 4 will have 2 votes in determining the maintenance issues.

To change any portion of this Home Owners Association document – all owners must sign off and be in agreement.

Sammons Development
Leavenworth County Kansas
Drainage Report
Prepared December 16, 2020



Parcel Information - The 85.6-acre (+/-) parcel is located on the north side of McIntyre Road in Leavenworth County KS. The address to the home on Lot #4 is 17344 Eisenhower Road. The parcel is zoned RR 2.5.

Existing Conditions – The site can be divided into two drainage areas, see exhibit #1.

A composite c value was calculated for each drainage area as shown in the table below. The composite c value is based on the soil type, slopes, and existing land use, see Exhibits #2 and #3.

Existing	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.50	48.4	13.9	
Pasture	0.42	16.0	7.0	
Crops	0.72	0.0	0.0	
Impervious	0.90	0.3	0.0	
Composite c		0.48	0.47	

$$\text{composite c} = \frac{(\text{Wooded Acres} * 0.50 + \text{Pasture Acres} * 0.42 + \text{Crop Acres} * 0.72 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

Developed Conditions – The proposed development will create 3 new residential building lots. The developed storm water runoff calculations include 10,000 sq ft of impervious area for the new lots. This impervious area will account for the driveway, house footprint, and outbuilding. The remainder of the lot is assumed to be maintained as pasture. A c value of 0.42 is used for pasture area while a c value of 0.90 is used for the impervious areas. A composite c value for each drainage area was calculated as shown below.

Developed	c value	Acres in each Drainage Area		
		DA #1	DA #2	
Wooded	0.50	47.9	13.9	
Pasture	0.42	15.8	7.0	
Crops	0.72	0.0	0.0	
Impervious	0.90	1.0	0.0	
Composite c		0.49	0.47	

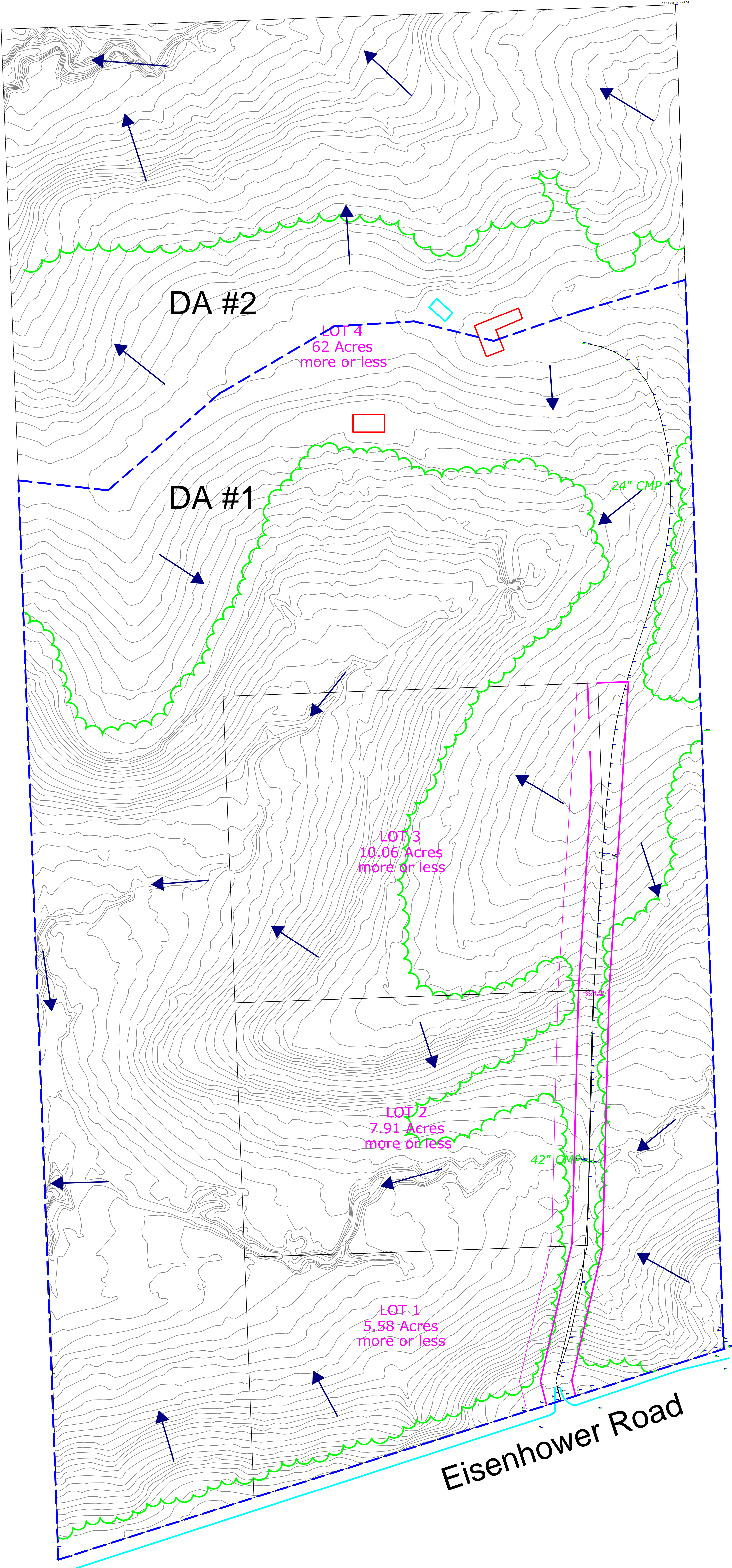
$$\text{composite c} = \frac{(\text{Wooded Acres} * 0.50 + \text{Pasture Acres} * 0.42 + \text{Crop Acres} * 0.72 + \text{Impervious} * 0.90)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	180.6	319.7
Developed	185.1	327.7
Change	2%	2%

Conclusion – The creation of three additional building lots on this parcel of ground results in a 2% increase in storm water runoff from the property.



↑
NORTH
NTS

TABLE 1 Values of Runoff Coefficient C

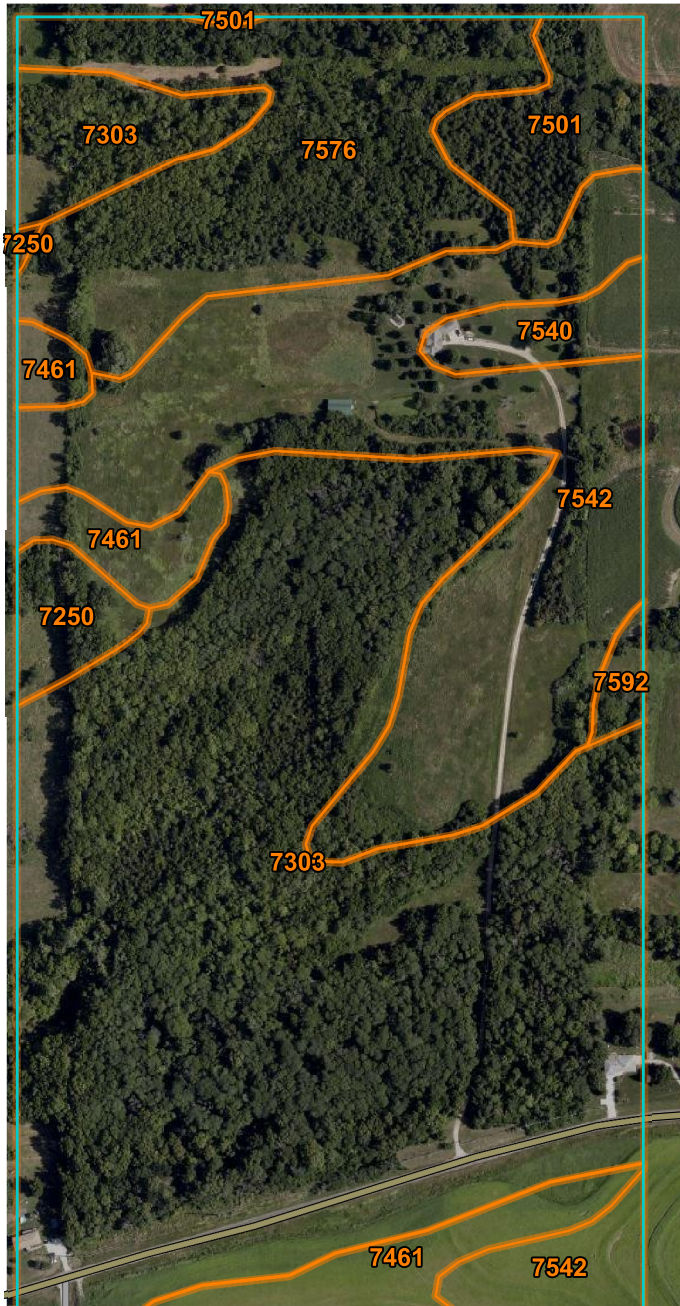
URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	0.10 - 0.15
Sandy soil, average, 2 - 7%	0.15 - 0.20
Sandy soil, steep, 7%	0.13-0.17
Heavy soil, flat, 2%	0.18 - 0.22
Heavy soil, average, 2 - 7%	0.25 - 0.35
Heavy soil, steep, 7%	
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

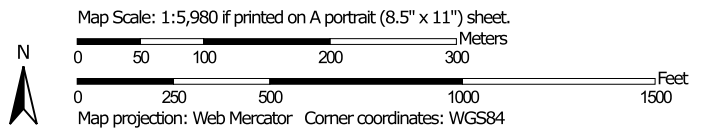
Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

EXHIBIT #2



Map Unit Symbol	Map Unit Name
7250	Gosport-Sogn complex, 7 to 35 percent slopes
7303	Martin silty clay loam, 3 to 7 percent slopes, eroded
7461	Oska silty clay loam, 3 to 8 percent slopes, eroded
7501	Pawnee clay loam, 4 to 8 percent slopes, eroded
7540	Sharpsburg silty clay loam, 1 to 4 percent slopes
7542	Sharpsburg silty clay loam, 4 to 8 percent slopes, eroded
7576	Shelby clay loam, 8 to 12 percent slopes, eroded
7592	Shelby-Pawnee complex, 3 to 7 percent slopes, eroded



USDA Natural Resources Conservation Service

EXHIBIT #3

Drainage Area #1- 10 year

Existing Conditions

Area = 64.7 acres
C= 0.48
L= 2100
S= 13.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 8.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 3.50$$

$$T_c = 11.6$$

$$i_{10} = 5.76$$

$$Q = KCiA$$

$$Q = 180.6 \text{ cfs}$$

Developed Conditions

Area = 64.7 acres
C= 0.49
L= 2100
S= 13.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 7.9$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 3.50$$

$$T_c = 11.4$$

$$i_{10} = 5.79$$

$$Q = KCiA$$

$$Q = 185.1 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 64.7 acres
C= 0.48
L= 2100
S= 13.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.48$$

$$T_i = 8.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 2100$$

$$T_t = 3.50$$

$$S = 13.5$$

$$T_c = 11.6$$

$$K = 1.25$$

$$i_{100} = 8.16$$

$$Q = KCiA$$

$$Q = 319.7 \text{ cfs}$$

Developed Conditions

Area = 64.7 acres
C= 0.49
L= 2100
S= 13.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < T_c < 15

$$C = 0.49$$

$$T_i = 7.9$$

$$i_{100} = 331/(T_c + 30)$$

15 < T_c < 60

$$L = 2100$$

$$T_t = 3.50$$

$$S = 13.5$$

$$T_c = 11.4$$

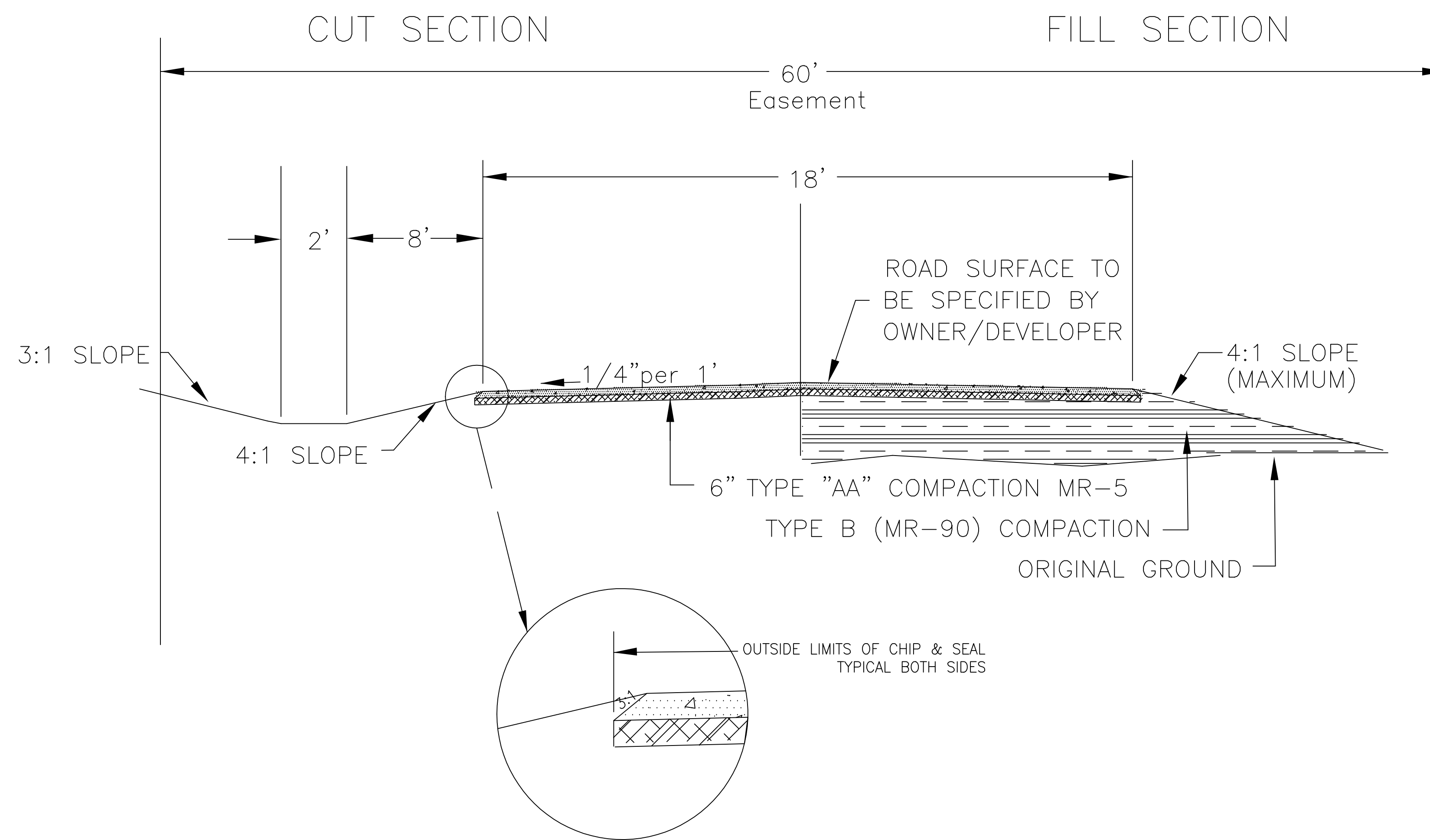
$$K = 1.25$$

$$i_{100} = 8.20$$

$$Q = KCiA$$

$$Q = 327.7 \text{ cfs}$$

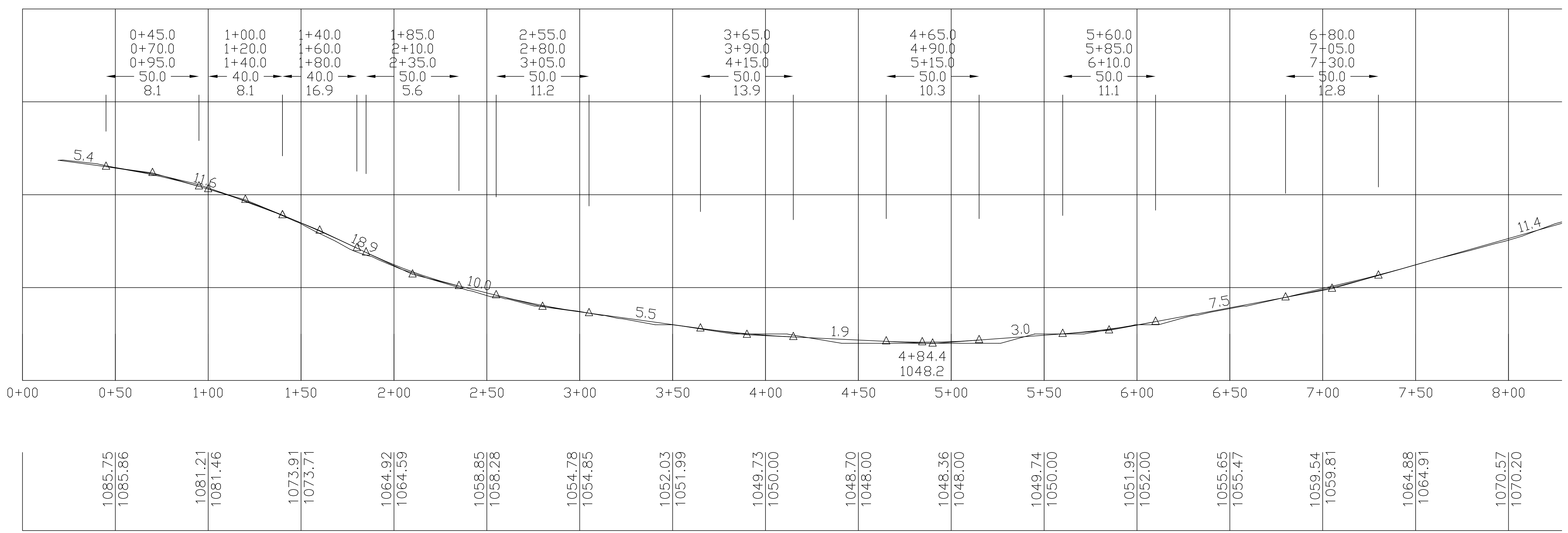
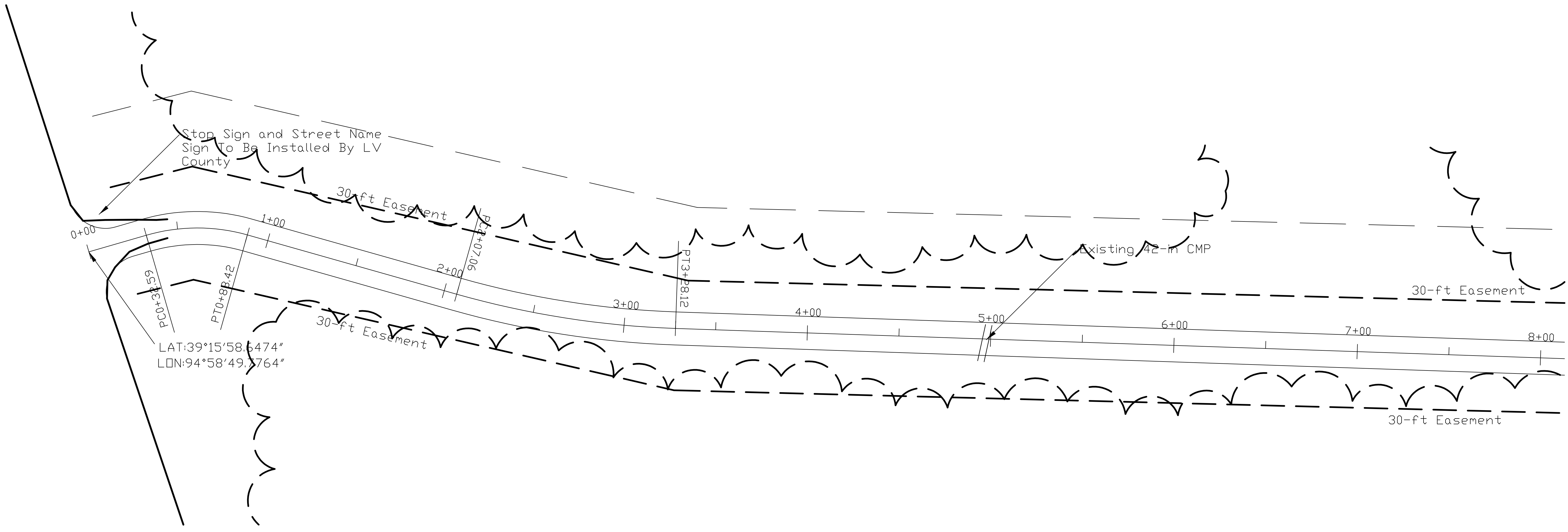
Private Road



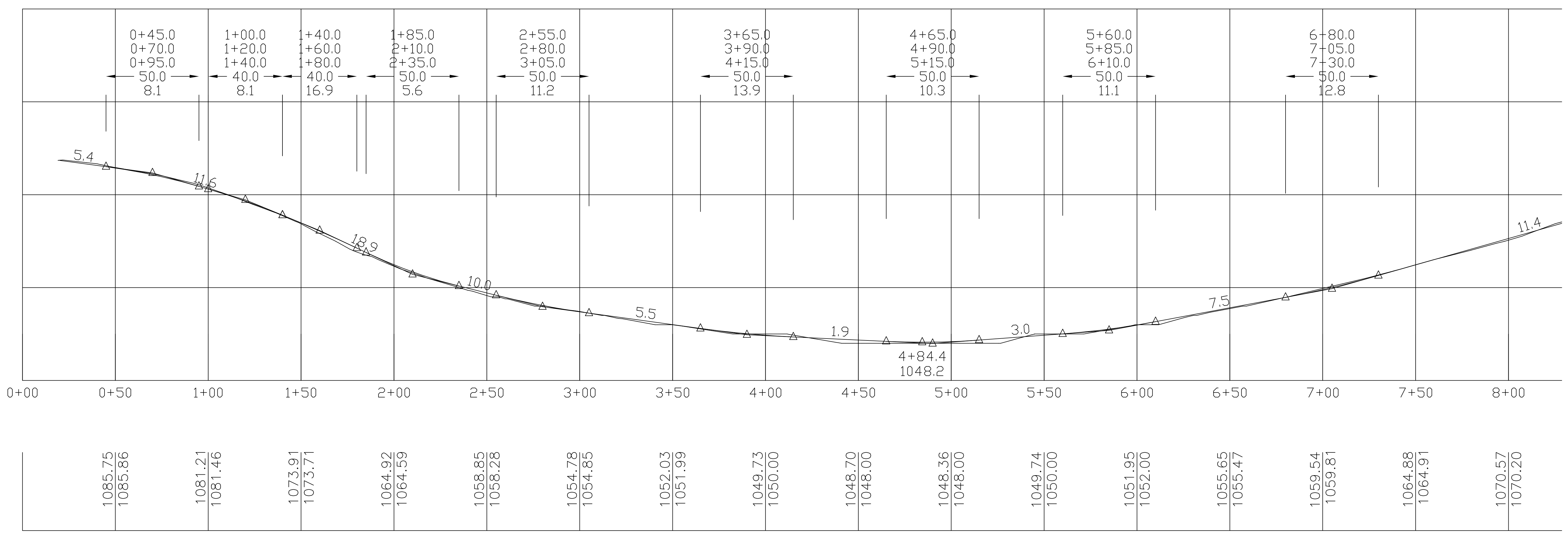
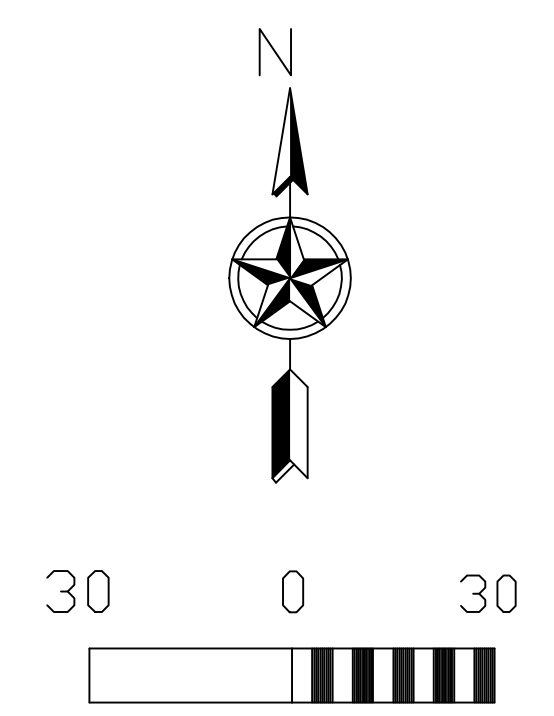
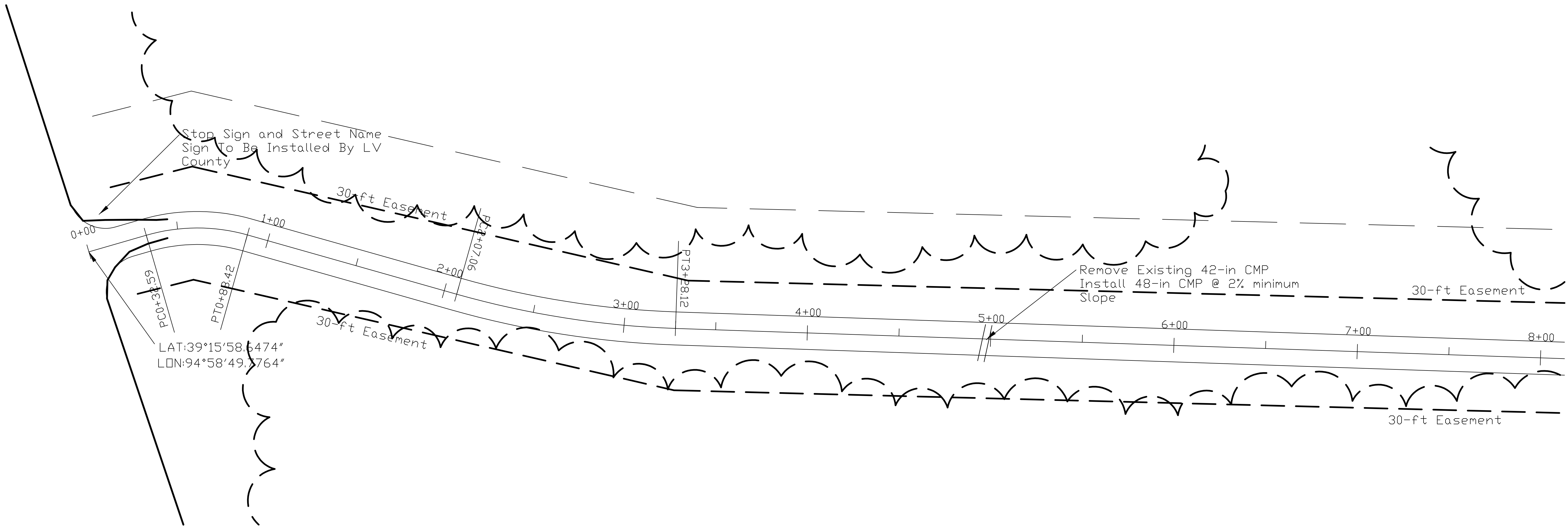
General Notes:

1. Utilities shown are based upon information available to the Engineer. Contractor shall verify all utility locations before digging.
2. Contractor shall provide adequate traffic control signing as outlined in the latest edition of the MUTCD.
3. All construction shall conform with current County specifications.
4. Contractor to obtain all necessary permits prior to construction.
5. All excavation is unclassified.
6. Contractor responsible for compliance with NPDES regulations. This includes obtaining a KDHE NOI permit and preparing/maintaining a SWPPP.
7. This private access road is to serve four single family home sites.

Designed By: _____ Drawn By: _____ Checked By: _____ Issue Date: _____ Job No.: _____	5	NO.	DATE	REVISIONS	BY	APP'D
	4					
	3					
	2					
	1					
Sammons Private Road	TYPICAL SECTION AND GENERAL NOTES					



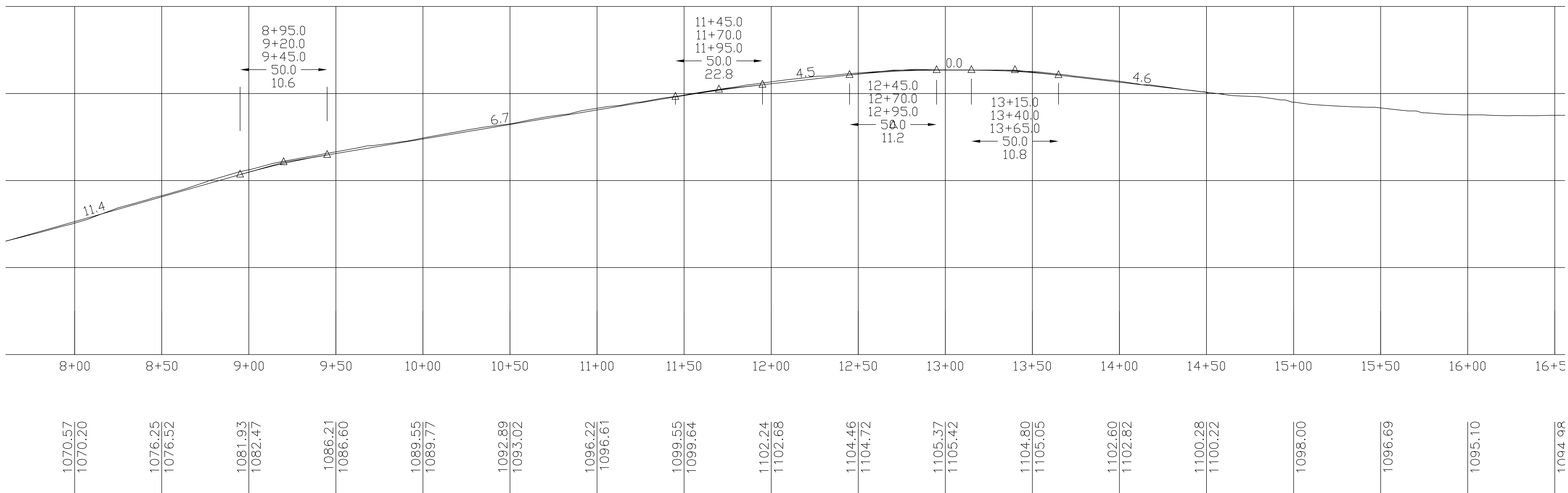
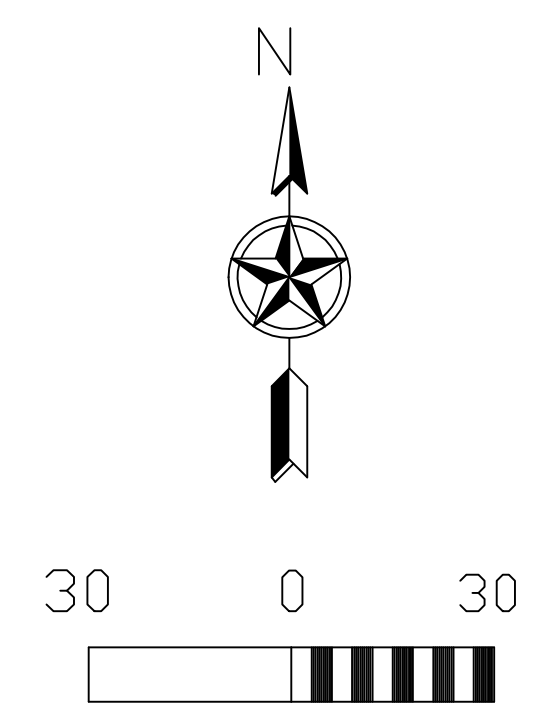
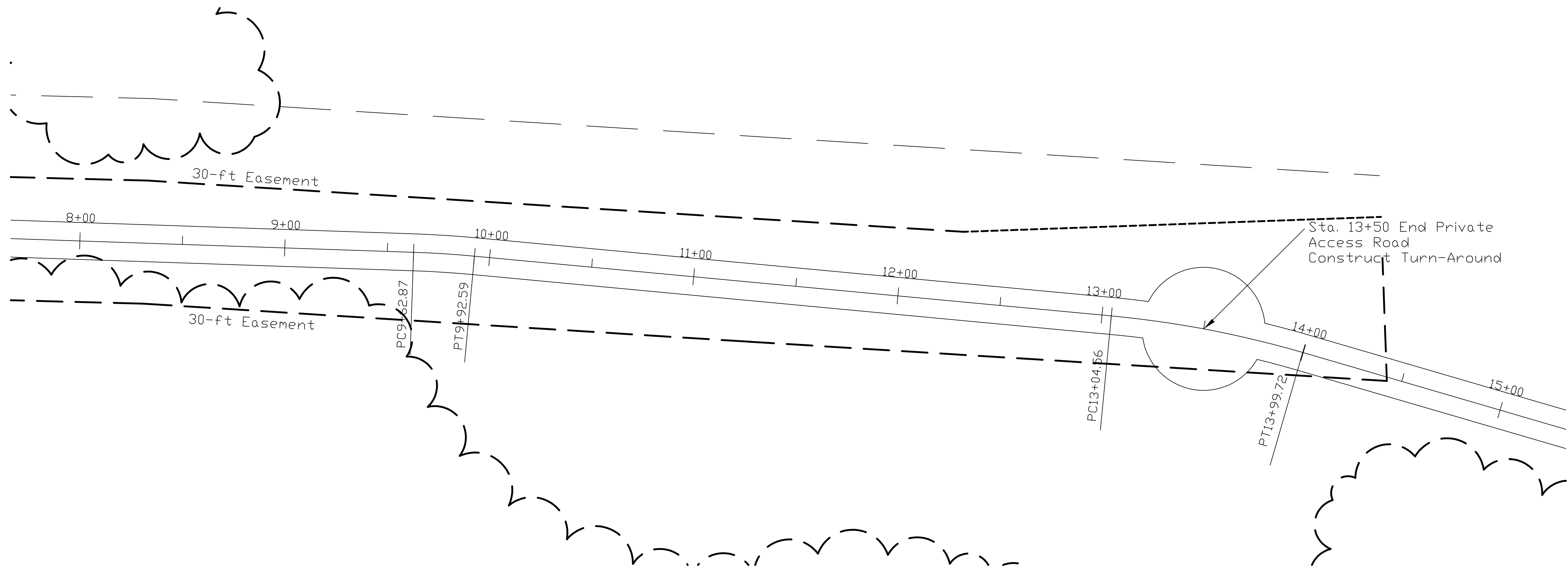
Designed By		NO.	DATE	REVISIONS	BY	APP'D
Drawn By		5				
Checked By		4				
Issue Date		3				
Job No.		2				
		1				
Sammons Private Road		Plan & Profile				



Designed By	
Drawn By	
Checked By	
Issue Date	
Job No.	

NO.	DATE	REVISIONS	BY	APP'D
5				
4				
3				
2				
1				

Sammons Private Road	
Plan & Profile	



Designed By: _____	NO.	DATE	REVISIONS	BY	APP'D
Drawn By: _____	5				
Checked By: _____	4				
Issue Date: _____	3				
Job No.: _____	2				
	1				

Sammons Private Road
Plan & Profile

SAMMONS ESTATES

A Cross Access Easement Plat in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

FINAL PLAT

PREPARED FOR:

Richard & Georgiann Sammons
17344 Eisenhower Road
Leavenworth, KS 66086
PID No. 104-17-0-00-002

RECORD DESCRIPTION:

The West half of the Northeast quarter (NE1/4) of Section 17, Township 9, Range 22, together with: Beginning at a point 20 feet East of the center corner of Section 17, Township 9, Range 22; thence South 315 feet to the North line of Perryville Road; thence North 83 1/2° East, 706 feet along the North line of said road; thence North 66° East 600 feet to the half Section line running East and West through said Section 17; thence West along said half Section line 1245 feet to the place of beginning, it being understood this description is meant to convey the piece of land lying in the Northwest corner of the Southeast quarter of Section 17, Township 9, Range 22 lying and being North and West of the Perryville Road and East of the North and South road through the center of said Section 17, Leavenworth County, Kansas.

CERTIFICATION AND DEDICATION

The undersigned proprietors state that all taxes of the above described tract of land have been paid and that they have caused the same to be subdivided in the manner shown on the accompanying plat, which subdivision shall be known as: SAMMONS ESTATES.

Easements shown on this plat are hereby dedicated for public use, the rights of way which are shown with dashed lines on the accompanying plat, and said easements may be employed to locate and maintain sewers, water lines, gas lines, poles and wires and any other form of public utility now and hereafter used by the public over, under and along the strips marked "Utility Easement" (U/E).

"Drainage Easements" or "D/E" shown on this plat are hereby dedicated for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities. The maintenance and upkeep of said Easements shall be the responsibility of the individual owners of the lots whereupon said Easements are dedicated. Leavenworth County shall bear no responsibility for any maintenance and upkeep of said Easements.

Streets shown on the accompanying plat and not heretofore dedicated for public use are hereby so dedicated.

Building Lines or Setback Lines (B.S.L.) are hereby established as shown on the accompanying plat and no building or portion thereof shall be built or constructed between this line and the street line.

IN TESTIMONY WHEREOF,

We, the undersigned owners of SAMMONS ESTATES, have set our hands this _____ day of _____, 2021.

Richard Sammons

Georgiann Sammons

NOTARY CERTIFICATE:

Be it remembered that on this _____ day of _____, 2021, before me, a notary public in and for said County and State came Richard Sammons and Georgiann Sammons, a married couple, to me personally known to be the same persons who executed the forgoing instrument of writing, and duly acknowledged the execution of same. In testimony whereof, I have hereunto set my hand and affixed my notary seal the day and year above written.

NOTARY PUBLIC

My Commission Expires: _____ (seal)

APPROVALS

We, the Leavenworth County Planning Commission, do hereby approve the foregoing plat of SAMMONS ESTATES this _____ day of _____, 2021.

Secretary
Krystal A. Voth

Chairman
Steven Rosenthal

COUNTY ENGINEER'S APPROVAL:

The County Engineer's plat review is only for general conformance with the subdivision regulations as adopted by Leavenworth County. The County is not responsible for the accuracy and adequacy of the design, dimensions, elevations, and quantities.

County Engineer - _____

COUNTY COMMISSIONER APPROVAL:

We, the Board of County Commissioners of Leavenworth County, Kansas, do hereby approve the foregoing plat of SAMMONS ESTATES, this _____ day of _____, 2021.

Chairman
Michael Smith

County Clerk
Attest: Janet Klasinski

REGISTER OF DEED CERTIFICATE:

Filed for Record as Document No. _____ on this _____ day of _____, 2021 at _____ o'clock _____ M in the Office of the Register of Deeds of Leavenworth County, Kansas,

Register of Deeds - TerriLois G. Mashburn

COUNTY SURVEYOR

I hereby certify this plat meets the requirements of KSA-58-2001 through 58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No field verification is implied. This review is for surveying information only.

COUNTY SURVEYOR -

Stephan C. Tuttle, KS PS No. 1252
Leavenworth County Reviewer

SURVEYOR'S DESCRIPTION:

A tract of land in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of the Northeast Quarter of said Section 17; thence North 02 degrees 11'21" West for a distance of 2640.10 feet along the West line of said Northeast Quarter; thence North 87 degrees 55'36" East for a distance of 1323.75 feet along the North line of said Northeast Quarter; thence South 02 degrees 02'35" East for a distance of 2637.33 feet to the North right of way of Eisenhower Road, as it exists today; thence along a non-tangent curve to the left having a radius of 1472.69 feet and an arc length of 94.06 feet, being subtended by a chord bearing of South 73 degrees 49'39" West and a chord distance of 94.04 feet along said right of way; thence South 18 degrees 00'08" East for a distance of 5.00 feet along said right of way; thence South 71 degrees 59'52" West for a distance of 1278.44 feet along said right of way to the West line of the Southeast Quarter of said Section 17; thence North 01 degrees 44'35" West for a distance of 375.79 feet along said West line to the point of beginning, together with and subject to covenants, easement and restriction of record. Said property contain 85.69 acres, more or less, including road right of way. Error of Closure - 1 : 790401

POB

71

North Quarter Corner

Section 17-9-22 (Level)(M.D.Cooper / Herring)

1/2" Bar Found next to Stone & Fence Corner Post

- 1) Nail Top Fence Post N 17.41'
- 2) Nail 12" Walnut NNE 33.13'
- 3) Nail 14" Walnut E 5.77'
- 4) Mag Nail w/ Washer E Face 4" Square Wood Stop Sign Post NW 55.85'

09J

Northeast Corner

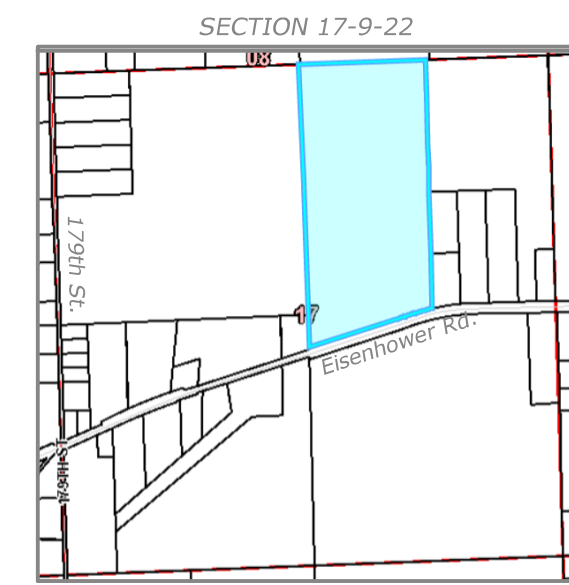
Section 17-9-22 (Level)(Herring)

- 1) 1/2" Bar
- 1) 60d Nail in 20" Tree NNE 1.74'
- 2) 60d Nail in 12" Elm Tree NNW 6.37'
- 3) 60d Nail in 20" Maple Tree W 25.4'
- 4) Mag Nail in Post E 37.88'

PID No. 104-17...005

LOT 4
61.9 Acres
more or less

PID No. 104-17...001



PID No. 104-17...021.z

PID No. 104-17...021

9L East Quarter Corner
Section 17-9-22 (Level)(Hahn)
1/2" Pipe
1) Apparent Centerline S 9'+-
2) Nail with Washer in Corner Post S 60.9'
3) 1/2" Bar N 19.3'
4) PK Nail in 14" redbud NNW 59.4'

7L Center (SW COR NE 1/4) of
Section 17-9-22 (Level)(Herring)

- 1) 1/2" Bar
- 1) Nail & Washer E Face 12" Hackberry NW 16.15'
- 2) Nail & Shiner E Face 18" Walnut NE 32.4'
- 3) Nail & Shiner N Face 12" Locust E 38.8'
- 4) Nail & Washer Top Fence Corner Post S 8.5'

PID No. 104-17...009.01

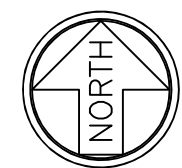
7N South Quarter Corner

Section 17-9-22 (Level)(Aley)

- 1) 1/2" Bar
- 1) Nail & Shiner E Face 18" Hackberry NNE 38.87'
- 2) Nail & Shiner W Face 18" Hedge NE 47.43'
- 3) Nail & Shiner N Face 30" Locust E 31.23'
- 4) Top of Fence SW 1.1'

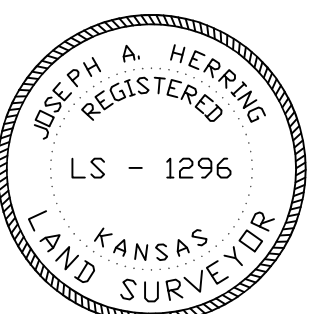
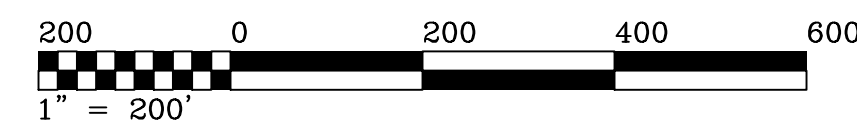
LEGEND:

- - 1/2" Bar Set with Cap No. 1296
- - 1/2" Bar Found, unless otherwise noted.
- - Concrete Base to be Set around Point
- △ - PK Nail Found in Place
- () - Record / Deeded Distance
- U/E - Utility Easement
- D/E - Drainage Easement
- B.S.L. - Building Setback Line
- R/W - Permanent Dedicated Roadway Easement dedicated this plat
- ⊕ - Centerline
- ⊖ - Section Line
- BM - Benchmark
- C.A.E. - Cross Access Easement
- POB - Point of Beginning
- //// - No Access



Scale 1" = 200'

Job # K-20-1417
December 22, 2020 Rev. 1/25/21



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

SAMMONS ESTATES

A Common Access Easement Plat in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas.

PRELIMINARY PLAT

PREPARED FOR:
Richard & Georglann Sammons
17344 Eisenhower Road
Leavenworth, KS 66086
PID No. 104-17-0-00-00-002

RECORD DESCRIPTION:
The West half of the Northeast quarter (NE1/4) of Section 17, Township 9, Range 22, together with:
Beginning at a point 20 feet East of the center corner of Section 17, Township 9, Range 22; thence South 315 feet to the North line of Perryville Road; thence North 83 1/2° East. 706 feet along the North line of said road; thence North 68° East 600 feet to the half Section line running East and West through said Section 17; thence West along said half Section line 1245 feet to the place of beginning, it being understood this description is meant to convey the piece of land lying in the Northwest corner of the Southeast quarter of Section 17, Township 9, Range 22 lying and being North and West of the Perryville Road and East of the North and South road through the center of said Section 17, Leavenworth County, Kansas.

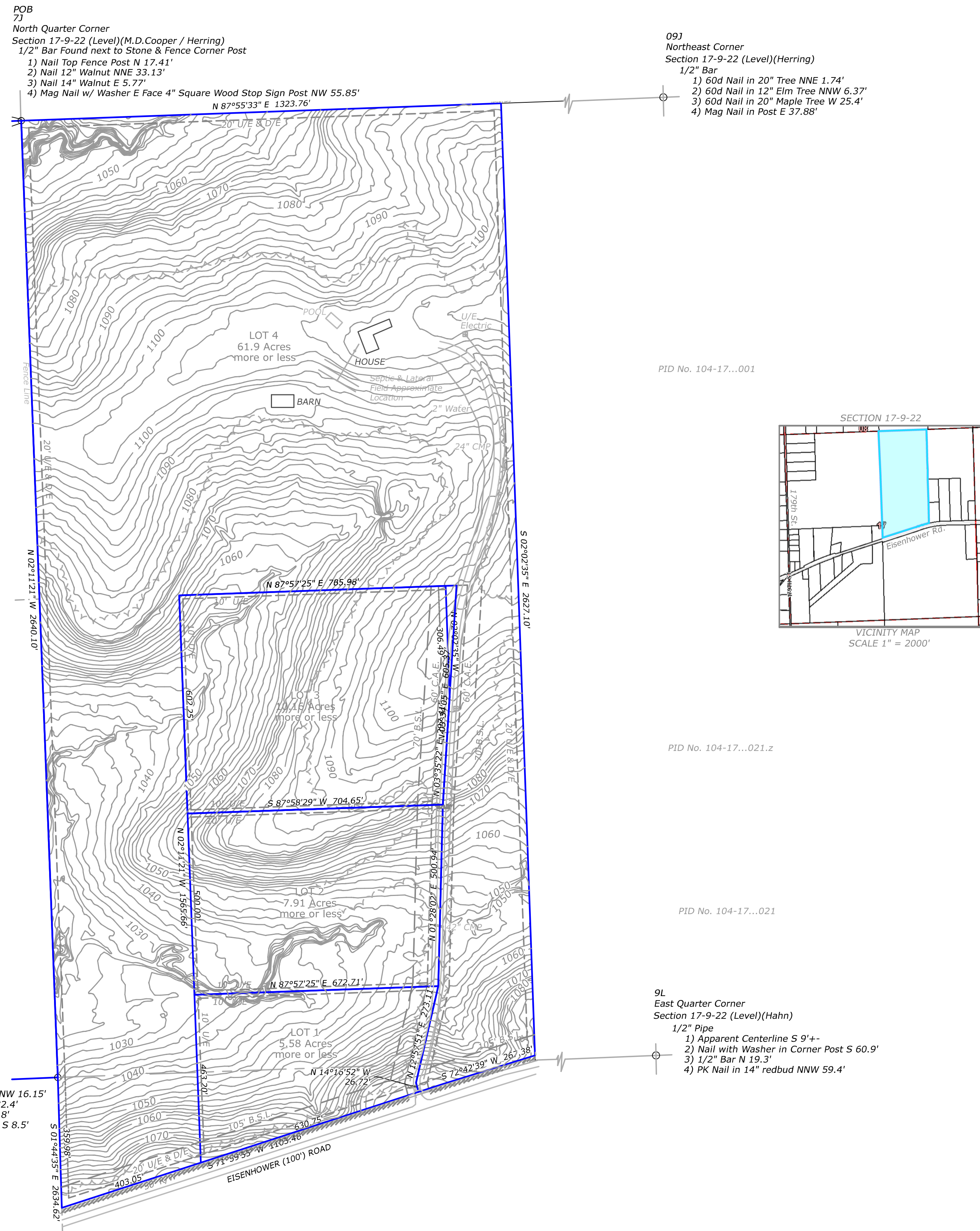
SURVEYOR'S DESCRIPTION:
A tract of land in the East Half of Section 17, Township 9 South, Range 22 East of the 6th P.M., Leavenworth County, Kansas, more fully described as follows: Beginning at the Southwest corner of the Northeast Quarter of said Section 17; thence North 02 degrees 11' 21" West for a distance of 2640.10 feet along the West line of said Northeast Quarter; thence North 87 degrees 55' 36" East for a distance of 1323.75 feet along the North line of said Northeast Quarter; thence South 02 degrees 02' 35" East for a distance of 2637.33 feet to the North right of way of Eisenhower Road, as it exists today; thence along a non-tangent curve to the left having a radius of 1472.69 feet and an arc length of 94.04 feet, being subtended by a chord bearing of South 73 degrees 49' 39" West and a chord distance of 94.04 feet along said right of way; thence South 18 degrees 00' 08" East for a distance of 5.00 feet along said right of way; thence South 71 degrees 59' 52" West for a distance of 1278.44 feet along said right of way to the West line of the Southeast Quarter of said Section 17; thence North 01 degrees 44' 35" West for a distance of 375.79 feet along said West line to the point of beginning, together with and subject to covenants, easement and restriction of record.
Said property contain 85.69 acres, more or less, including road right of way.
Error of Closure - 1 : 790401

PID No. 104-17...005

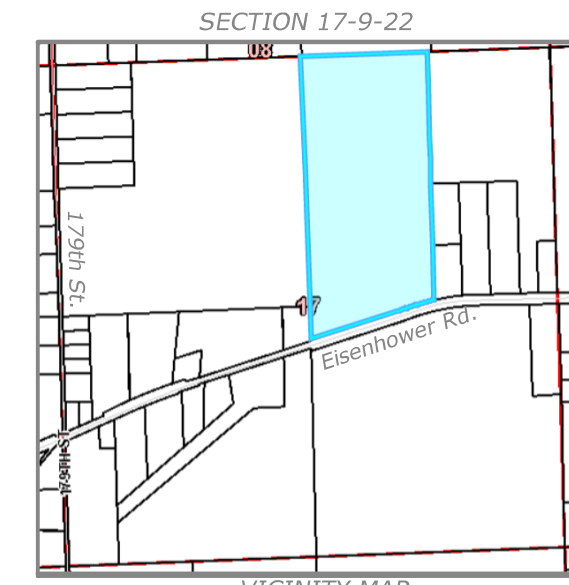
PID No. 104-17...021.z

PID No. 104-17...021

PID No. 104-17...009.01



09J
Northeast Corner
Section 17-9-22 (Level)(Herring)
1/2" Bar
1) 60d Nail in 20" Tree NNE 1.74'
2) 60d Nail in 12" Elm Tree NNW 6.37'
3) 60d Nail in 20" Maple Tree W 25.4'
4) Mag Nail in Post E 37.88'



RESTRICTIONS:
1) All proposed structures within this plat shall comply with the Leavenworth County Zoning and Subdivision Regulations or zoning regulation jurisdiction.
2) An Engineered Waste Disposal System may be required due to poor soil conditions.
3) Erosion and sediment control measures shall be used when designing and constructing driveways and other structures. Re-vegetation of all disturbed areas shall be completed within 45 days after final grading.
4) Lots are subject to the current Access Management Policy
5) Lots are subject to the off-plat Home Owner's Association detailing the maintenance of the Common Access Easement. General terms - each Lot Owner is responsible for a 25% share of maintenance of said area. Lots 1, 2, and 3, each have 1 vote and Lot 4 has 2 votes.

ZONING:
RR-5, Rural Residential, 5-Acre minimum size parcels - Current and proposed

NOTES:
1) This survey does not show ownership.
2) All distances are calculated from measurements or measured this survey, unless otherwise noted.
3) All recorded and measured distances are the same, unless otherwise noted.
4) Error of Closure - See Error of Closure Calculations
5) Basis of Bearing - KS State Plane NAD 83, North Zone 1501
6) Point Origin Unknown, unless otherwise noted.
7) Proposed Lots for Residential Use.
8) Road Record - See Survey
9) Benchmark - NAVD88
Project Benchmark (BM) - Southwest Corner SW 1/4 - 963'
10) Easements, if any, are created hereon or listed in referenced title commitment.
11) Reference Recorded Deed Document No. 2017R10331
12) Utility Companies -
- Water - RWD 8
- Electric - Evergy
- Sewer - Septic / Lagoon
- Gas - Propane / Natural Gas
13) Reference Alliance Title Insurance Company Commitment Owners & Encumbrances updated December 7, 2020
14) Property is not in a Special Flood Hazard Area per FEMA FIRRM Map 20103C0325G & 350G dated July 16, 2015
15) Building Setback Lines as shown hereon or noted below
- All side yard setbacks - 15' (Accessory - 15')
- All rear yard setbacks - 40' (Accessory - 15')
16) Distances to and of structures, if any, are ++ 1'.
17) Easements as per referenced Title Commitment are shown hereon
- No easements were listed on the provided O & E Report
18) Fence Lines do not necessarily denote the boundary line for the property.
19) Reference Surveys:
(LTH) - L.T.Hahn Survey Document No. 2017S035
(JAH) - J.A.Herring recorded Plat - PARSON'S RIDGE

LEGEND:
● - 1/2" Bar Set with Cap No. 1296
○ - 1/2" Bar Found, unless otherwise noted.
□ - Concrete Base to be Set around Point
△ - PK Nail Found in Place
() - Record / Deeded Distance
U/E - Utility Easement
D/E - Drainage Easement
B.S.L. - Building Setback Line
R/W - Permanent Dedicated Roadway Easement dedicated this plat
— Section Line
— Centerline
BM - Benchmark
→ DIRECTION OF WATER FLOW
○ - Power Pole
X - Fence Line
OHP - Overhead Power Lines
T - Underground Telephone/Fiber Optic Line
— Gas Valve
— Water Meter/Valve
— Telephone Pedestal
W - 2" Water Line - location as per district
U/E - Underground Electric Line
C.A.E. - Cross Access Easement
POB - Point of Beginning
//// - No Access
~ ~ ~ - Tree/Brush Line

9L
East Quarter Corner
Section 17-9-22 (Level)(Hahn)
1/2" Pipe
1) Apparent Centerline S 9'+-
2) Nail with Washer in Corner Post S 60.9'
3) 1/2" Bar N 19.3'
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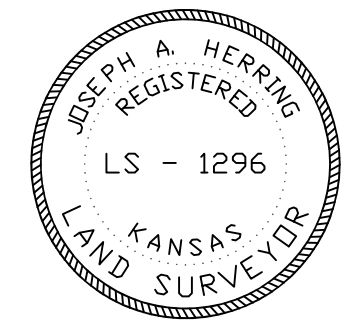
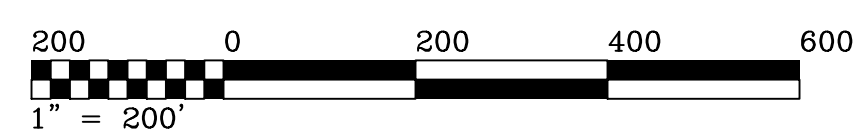
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Center of
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3) Nail & Shiner N Face 30" Locust E 31.23'
4) Top of Fence SW 1.1'



Scale 1" = 200'

Job # K-20-1417
December 22, 2020 Rev. 1/25/21



I hereby certify that this survey was made by me, or under my direct supervision, on the ground during the month of December 2020 and this map or plat is correct to the best of my knowledge.

Joseph A. Herring
PS # 1296

Case No. DEV-20-147
CoolHeat KC
Special Use Permit – HVAC Repair Service
Public Hearing Required

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Richard Rogers
15890 Linwood Road
Bonner Springs, KS 66012

Legal Description: A tract of land in the southeast ¼ of Section 27, Township 11 South, Range 22 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 15890 Linwood Road

Parcel Size: ± 2.5 acres

Zoning/Land Use: RR-2.5, Rural Residential 2.5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Rural Residential land use category.

Parcel ID No.: 188-27-0-00-00-004.03-0

Planner: Krystal A. Voth

REPORT:

Request

The applicant is requesting a Special Use Permit for an HVAC Repair service and for the limited storage of used HVAC systems while awaiting recycling.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C350G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fairmount
Water: RWD 7
Electric: Evergy

Access/Streets

The property is accessed by Linwood Road/K-32, a State-maintained highway.

Agency Comments

No agency comments were provided.

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Special Use Permit request:

1. Character of the neighborhood: The character of the neighborhood is rural; primarily rural residences, and agricultural uses along with a scattering of business uses. The Lake Stop convenience store is located directly east of the subject parcel and Performance Glass is located directly south of the subject parcel.

2. Zoning and uses of nearby property: Much of the surrounding area is zoned as Rural Residential-2.5. The corners of 158th and Linwood are zoned as B-3, and less than ¼ mile to the west of the subject property is a large subdivision which is zoned as a PUD.
3. Suitability of the property for the uses to which it has been restricted: The property is within an area suited for rural residences and agricultural use. The use is allowed with approval of a Special Use Permit.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: Currently, the applicant is storing materials on the property and the materials are not screened or enclosed. Several neighbors have complained about the storage of materials. Outdoor storage of these types of materials are not consistent with the rural residential zoning district. The proposed use does not cause any increase in traffic. The applicant has indicated he has plans to build a shop on the property to house the materials.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed use will provide income for the applicant.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential.
8. Staff recommendation is for the approval of Special Use Permit with conditions.

Staff Analysis

LOCATION	
Adjacent Residences	Adjacent residences are rural in nature and are primarily located on lots that are greater than 2.5 acres.
Adjacent Zoning/Uses	General zoning within the area is Rural Residential-2.5. The corners of 158 th Street and Linwood Road are zoned as B-3, along with two additional parcels. The subdivision of Bear Lake is to the west and is zoned as a PUD. There is a convenience store and a glass manufacturing business located within the direct vicinity of the proposed business.
Density	The area is not densely populated.
Nearby City Limits	The property is not located near an incorporated city limit.
Initial Growth Management Area	The property is not located within an initial growth management area.

IMPACT	
Noise Pollution	The proposed use will not create additional noise.
Traffic	The use will not create a measurable increase in traffic.
Lighting	The applicant does not have lighting other than security lighting and is not requesting lighting.
Outdoor Storage	The applicant currently stores limited HVAC units outside. A condition of the SUP is to build a shop that can house the units.
Parking	The applicant has ample parking space for employees.
Visitors/Employees	One employee comes to the site once a week. There are no customers.
Waste	A by-product of the business is the recycling of used HVAC systems. These systems shall be recycled per KDHE requirements.

SITE COMPATABILITY	
Size of Parcel	The parcel is 2.5 acres in size.
Zoning of Parcel	The parcel is zoned Rural Residential-2.5
Buildings (Existing & Proposed)	There are currently no accessory buildings on the property. The applicant proposed to build a shop.
Setbacks	Existing building meet the required setbacks.
Screening	There is no existing screening.

Site Visit

Staff visited the site in early January. At that time, there were several old units being stored along the driveway. The business, in the current state, does not conform to the rural residential nature of the area.

Complaints

Staff has received complaints regarding this business which is currently operating without a Special Use Permit.

Staff Comments

The applicant is currently operating an HVAC repair business out of his home. The primary concern of the business is not with the repair of units, which takes place off site. The applicant is currently storing used and discarded materials at his home. The applicant states that the units are recycled and properly disposed of, however there are currently several units stored outside along the driveway. The applicant has indicated plans to build a shop to house the materials.

The applicant indicates that one employee comes to the home approximately once per week. All services take place off site.

The recommendation of Staff is for a short-term approval of the Special Use Permit with a condition that an outbuilding be constructed to house any materials. In the event the applicant does not have the building constructed, the SUP should not be renewed. Further, the applicant should work closely with KDHE-Small Business/Pollution Prevention division to ensure all necessary protocols are being followed for the storage and recycling of materials.

STAFF RECOMMENDATION:

Staff recommends approval of DEV-20-147, Special Use Permit for CoolHeat KC subject to the following conditions:

1. The SUP shall be limited to a period of one year.
2. The applicant shall cause to have constructed an accessory building for the storage of all business-related equipment.
3. The applicant shall contact the Kansas Department of Health and Environment – Small Business/Pollution Prevention division to ensure all necessary protocols are being followed to ensure the safe storage of materials.
4. No signage is allowed in the right-of-way. No signage is requested with the SUP. All signage shall comply with Article 25, Sign Regulations of the Leavenworth County Zoning and Subdivision Regulations.
5. No on-street parking shall be allowed.
6. This SUP shall be limited to the Narrative dated December 7, 2020 submitted with this application.
7. This SUP shall comply with all local, state, and federal rules and regulations that may be applicable. After approval of this SUP by the Board of County Commission all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

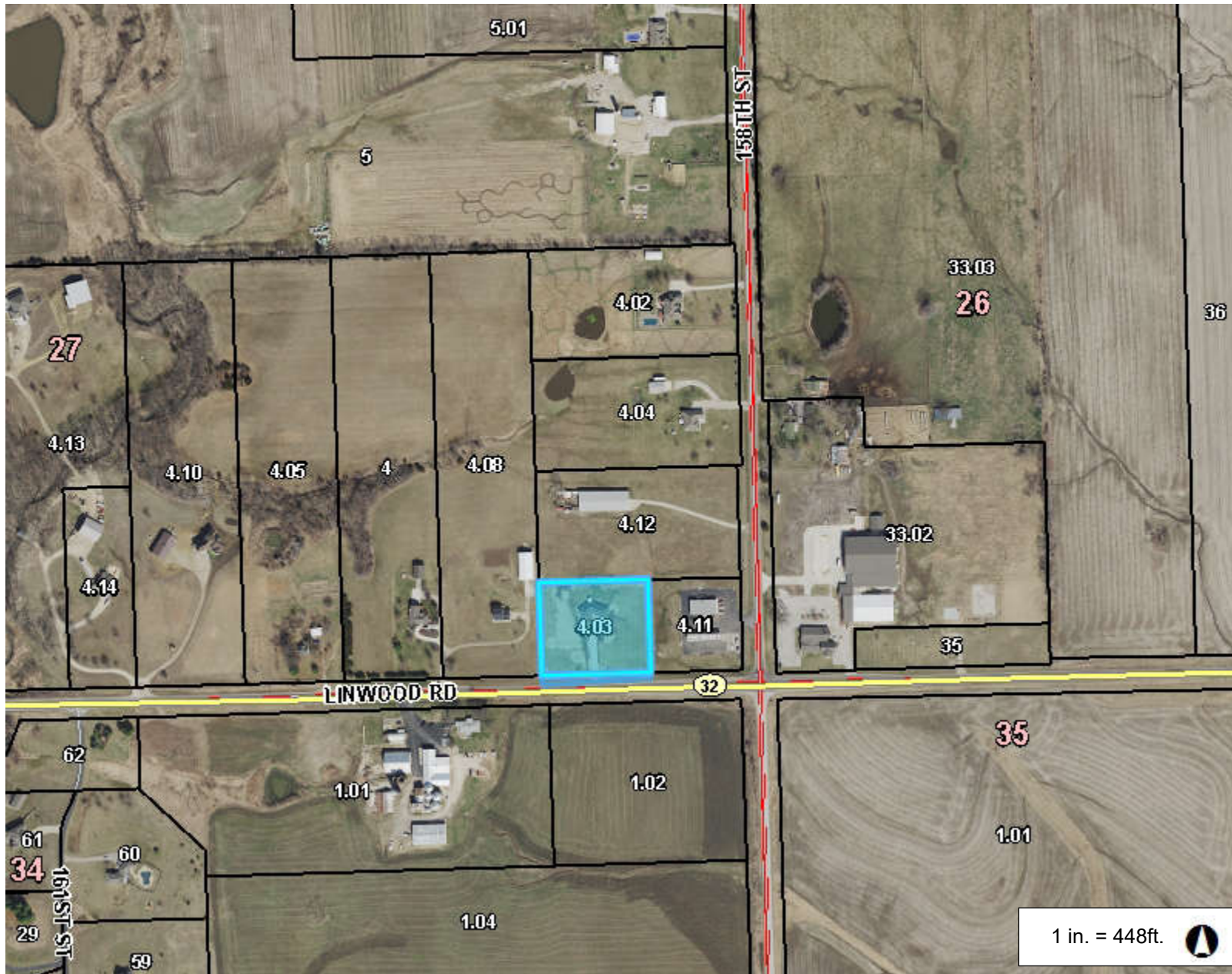
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-147, Special Use Permit for CoolHeat KC, to the Board of County Commission, with Findings of Fact, and with or without conditions; or
2. Recommend denial of Case No. DEV-20-147, Special Use Permit for CoolHeat KC, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Narrative
Location/Aerial Maps
Memorandums

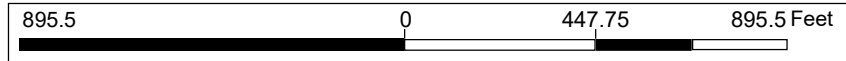
Cool Heat KC SUP



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 448ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



SPECIAL USE PERMIT APPLICATION

Leavenworth County Planning Department
300 Walnut, St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
913-684-0465

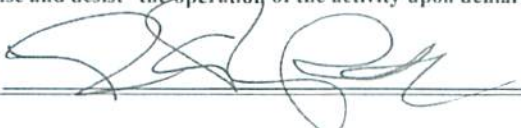
Office Use Only
PID: 188-27 004.03 Date Received: 12/7/20
Township Fairmount
Planning Commission Date: Feb 10, 2021
Case No. DEV-20-147 Date Paid 12/7/20
Zoning District RR-2.5
Comprehensive Plan land use designation Residential 2.5 Ac Min.

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>Richard E. Rogers II</u>	NAME _____
ADDRESS <u>15890 Linwood Road</u>	ADDRESS _____
CITY/ST/ZIP <u>Bonner Springs, KS</u> <u>66012</u>	CITY/ST/ZIP _____
PHONE <u>913-333-0493</u>	PHONE _____
EMAIL <u>RICKROGERS9800@GMAIL.COM</u>	EMAIL _____
CONTACT PERSON <u>RICHARDE.ROGERS#</u>	CONTACT PERSON _____

PROPOSED USE INFORMATION
Existing and Proposed structures N/A
Reason for requesting a Special Use Permit NOT SURE

PROPERTY INFORMATION
Address of property 15890 Linwood Road Bonner Springs, KS Parcel size 2 ACRES
Current use of the property HOME
Does the owner live on the property? YES
Does the applicant own property in states or counties other than Kansas and Leavenworth County? NO

I, the undersigned am the (circle one) owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a Special Use Permit as indicated above. I hereby agree to "cease and desist" the operation of the activity upon denial of the permit by the Board of County Commissioners.

Signature  Date 11/17/2020
ATTACHMENT A

August 27, 2020

Leavenworth County Planning Department
300 Walnut Street, Suite 212
County Courthouse
Leavenworth, KS 66048

To the Planning and Zoning Staff,

My wife and I own a small HVAC company. We do not have any office staff other than my wife and myself. I did not realize I'd need a special use permit to run a business from my home since I have no employees that work from my residence.

We do not have a store. We have one employee that comes to our house once or twice a week for an hour or so.

We do not anticipate any pedestrian traffic.

We do not have set hours of operation, as I am on call 24 hours a day, seven days a week.

We do not have signage on our home and we would not need to have outdoor displays.

We do not need sewage disposal or additional water for our business.

There would be no noise or sound, odor or fumes caused from the HVAC business.

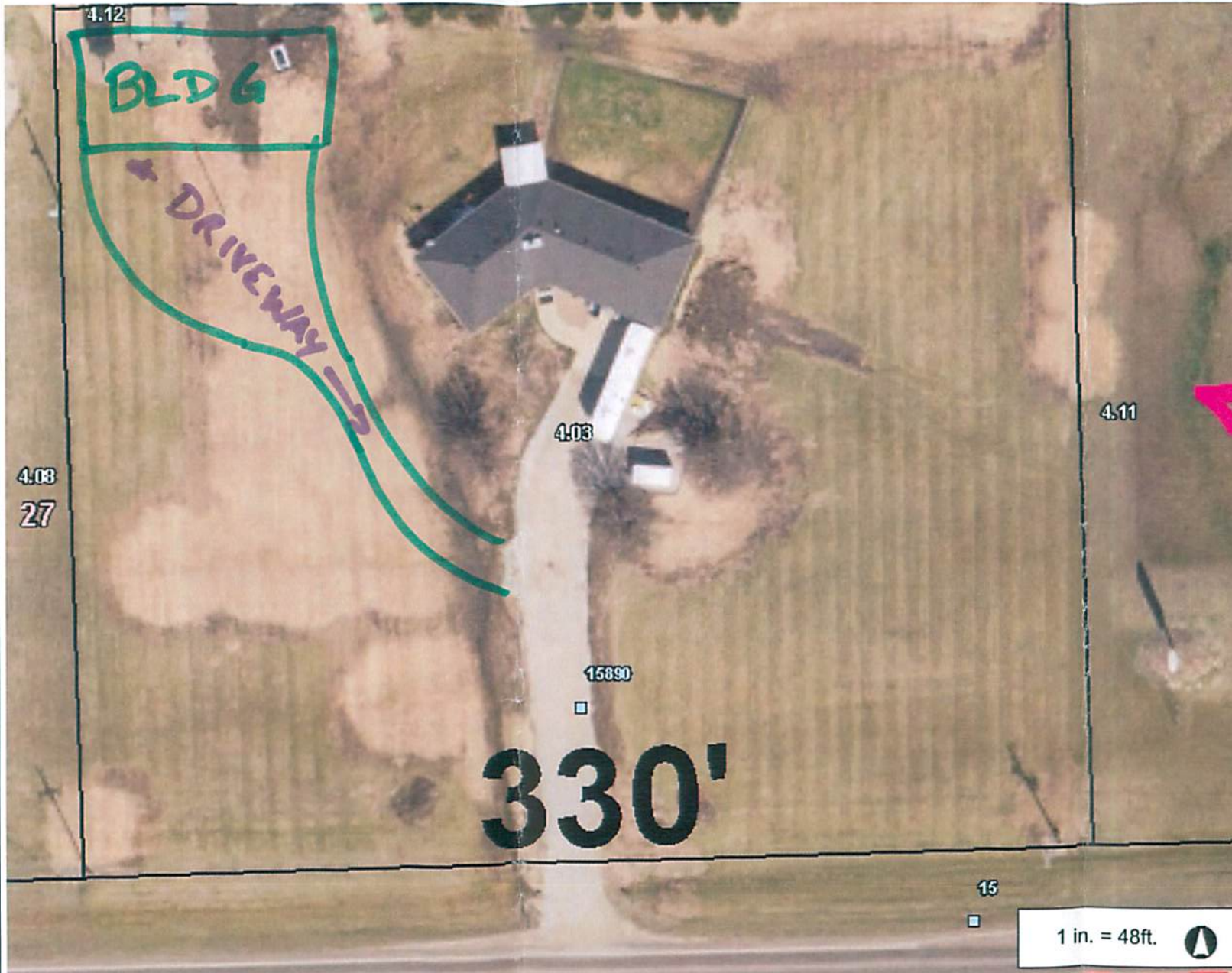
The only equipment that would be on the property would be old HVAC equipment for recycling. We have plans to put a building up on the property to store recycling and equipment for the HVAC business.

We do not have a need for additional parking or extra traffic that would be coming to our residence.

I'd be happy to answer any additional questions that you might have in the future.

Thank you,
Rick Rogers

Leavenworth County, KS



Legend

- Address Point
- Parcel Number
- Lot Line
- Parcel
- City Limit Line
- Major Road
- <all other values>
- 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

Notes

96.2 0 48.12 96.2 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

LEAVENWORTH COUNTY DEVELOPMENT APPLICATION PERMIT

CASE NUMBER DEV-20-147

PERMIT SUB-TYPE SPECIAL USE PERMIT

PID 188-27-0-00-00-004.03 PARCEL SIZE 2.13 AC ZONE RR-2.5
TWSP FAIRMOUNT SCHOOL DIST 458 SDD NO
SUBDIVISION LOT NO BLOCK NO
WATER DIST RWD 7 ELECTRIC EVERGY SEWER DIST n/a
FLOOD PLAIN IN PARCEL NO FLOOD PLAIN ON BUILDING SITE NO
SITE ADDRESS 15890 Linwood Rd
SITE CITY Bonner Springs SITE STATE KS SITE ZIP CODE 66012

LAST NAME Rogers II FIRST NAME Richard PHONE 913-333-0493
EMAIL rickrogers9800@gmail.com
ADDRESS 15890 Linwood Rd
CITY Bonner Springs STATE KS ZIP CODE 66012

CONSULTANT CONSULTANT PHONE
CONSULTANT EMAIL

PROPOSED ZONING RR-2.5 SUP CATEGORY - USE Small Limited Business
VARIANCE REGULATION CURRENT USE RESIDENTIAL ROAD STATE
COMP PLAN USE DESIGNATION Residential 2.5ac Minimum UGMA

SUBDIVISION TYPE GROSS ACREAGE COVENANTS NO
MAXIMUM LOT SIZE MINIMUM LOT SIZE OPEN SPACE ACREAGE
LOTS TRACTS TOTAL PARCELS DENSITY

NOTES: CoolHeat KC, LLC.

STAFF	STAFF ACTION	[] PUBLIC HEARING	AGENDA AREA
PC	PC ACTION	PENDING	NOTICE PUB
BOCC	BOCC ACTION	PENDING	RESOLUTION PUB
BZA	BZA ACTION	DURATION	EXPIRATION

APPLICATION FEE \$400.00 TIF 0.00 BOND 0.00 TOTAL FEES \$400.00
CHECK NO 1035 [] CASH [] CC TIFF CHECK NO

STAFF APPROVAL  DATE 12/8/20

APPLICANT DATE

Case No. DEV-20-159
The Barn B&B
Special Use Permit – Bed & Breakfast
Public Hearing Required

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** Kendra & Doug DeLashmutt
18131 Eisenhower Road
Leavenworth, KS 66048

Legal Description: A tract of land in the Northeast ¼ of Section 19, Township 9 South, Range 22 East of the 6th P.M. in Leavenworth County, Kansas

Parcel Size: ± 5 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the RR-2.5 land use category.

Parcel ID No.: 104-18-0-00-00-023.01

Planner: Jared Clements

REPORT:

Request

The applicant is requesting a Special Use Permit for a Bed and Breakfast.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0125 & 0150G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District #1
Water: RWD #8
Electric: Freestate Electric

Access/Streets

The property is accessed by Eisenhower Road, a County Arterial with a paved surface ± 22' wide.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, January 4, 2021
See attached comments – Email – Becky Fousek – Rural Water District 8, January 2, 2021
See attached comments – Email – Amanda Tarwater – Freestate Electric utility, December 31, 2020

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Special Use Permit request:

1. Character of the neighborhood: The character of the neighborhood is rural; primarily rural residences, and agricultural uses.
2. Zoning and uses of nearby property: The surrounding properties are zoned RR-5, Rural Residential 5-acre minimum size parcels. The uses are rural residences and agricultural.

3. Suitability of the property for the uses to which it has been restricted: The property is within an area suited for rural residences and agricultural use. The use is allowed with approval of a Special Use Permit.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: The area will not likely be detrimentally affected. The impacts of a two-bedroom Bed & Breakfast are expected to be minimal.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed use will produce income for the applicant.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as RR-2.5 zoning.
8. Staff recommendation is for the approval of Special Use Permit with conditions.

Staff Comments

Applicants are requesting a Special Use Permit to operate a Bed & Breakfast in an accessory building on their parcel. This Special Use Permit meets the requirements of Article 19 – Table of Uses – Bed and Breakfast. The applicants have finished a portion of the accessory building across from their home, installing two bedrooms, one bathroom, and a living room area. The applicants anticipate an average of four guests at a time between the two bedrooms. They expect guests to generally be couples and small families arriving in 1-2 vehicles. They hope to generate 10 overnight stays per month on average. The applicants have ample parking and well-maintained facilities. Given the minimal anticipated impacts, staff recommends approval of this Special Use Permit.

LOCATION	
Adjacent Residences	Adjacent residences are rural-suburban uses. Most surrounding properties to the north and south are on five (5) acre parcels, or larger.
Adjacent Zoning/Uses	Zoning in the area is RR-5 and are used primarily as rural residences and agricultural uses.
Density	The area is not densely populated.
Nearby City Limits	The city of Lansing is approximately two miles to the east of the property.
Growth Management Area	The property is not located within an Urban Growth Management Area.

IMPACT	
Noise Pollution	This use will not cause prolonged noise pollution. Given the size of the Bed & Breakfast, there will not be large numbers of guests on the property. Further, outdoor use would be monitored by the applicants, whose home is immediately adjacent to where guests will stay.
Traffic	The use will create minimal traffic. The character of the use implicitly will create guests coming to the property. The applicants anticipate their guests will mostly be couples and families arriving in 1-2 vehicles on average.
Lighting	The applicant does not have lighting other than security lighting and is not requesting lighting.
Outdoor Storage	The use does not create any outdoor storage uses.
Parking	The applicant has ample parking space for guests.
Visitors/Employees	The applicant anticipates 1-2 vehicles per booking, and up to 10 bookings per month.
Waste	This business is not expected to generate large amounts of waste.

SITE COMPATABILITY	
Size of Parcel	The parcel is five (5) acres in size.
Zoning of Parcel	The parcel is zoned Rural Residential-5
Buildings (Existing & Proposed)	The applicant has a home on the property and a shop that is connected to the lodging area.
Setbacks	Existing building meet the required setbacks.
Screening	The property requires no additional screening.

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-159, Special Use Permit for The Barn Bed & Breakfast, with the following conditions:

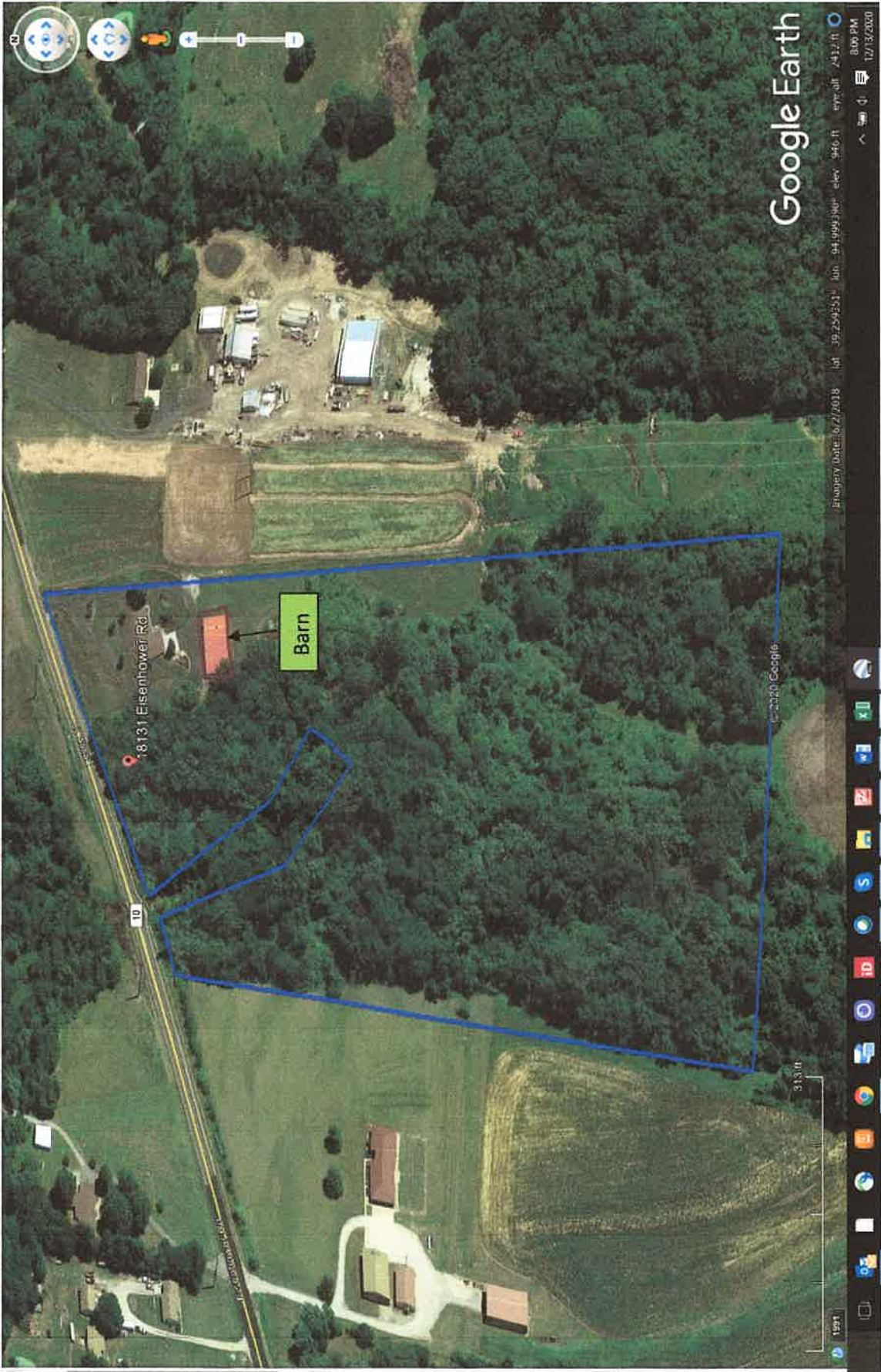
1. The SUP shall be limited to a period of five (5) years.
2. Outdoor activities connected to the SUP shall be limited to the hours of 6am to 12am, Monday through Sunday.
3. The applicant shall pay a Traffic Impact Fee (TIF) of \$58.93.
4. The SUP shall be limited to no employees other than family members.
5. No signage is allowed in the right-of-way. No signage is requested with the SUP. All signage shall comply with Article 25, Sign Regulations of the Leavenworth County Zoning and Subdivision Regulations.
6. The applicant shall post a sign with emergency contact numbers in the event of severe weather, fire or medical emergency events.
7. No on-street parking shall be allowed.
8. This SUP shall be limited to the Narrative dated December 15, 2020 submitted with this application.
9. This SUP shall comply with all local, state, and federal rules and regulations that may be applicable. After approval of this SUP by the Board of County Commission all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-159, Special Use Permit for The Barn Bed and Breakfast, to the Board of County Commission, with Findings of Fact, and with or without conditions; or
2. Recommend denial of Case No. DEV-20-159, Special Use Permit for The Barn Bed & Breakfast, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Narrative
Location/Aerial Maps
Memorandums



Google Earth

Map data: 10/2/2018 lat: 39.259351 lon: -94.999390 elev: 946 ft 8:09 PM 12/13/2020

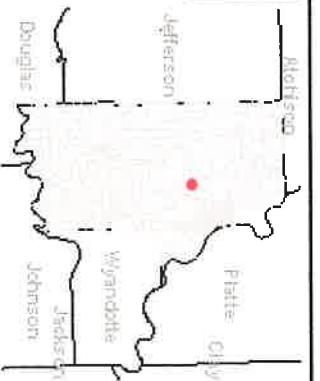
18131 Eisenhower Rd

Barn

© 2020 Google

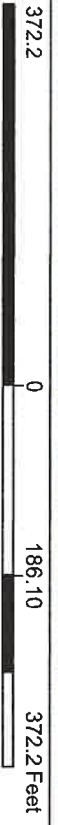
1991

Leavenworth County, KS



- Legend**
- Address Point
 - Parcel Number
 - Lot Line
 - Parcel
 - ▤ City Limit Line
 - ▨ Major Road
 - ▩ <all other values>
 - 70 Road
 - + Railroad
 - Section
 - Section Boundaries
 - County Boundary

1 in. = 186ft.



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
18131 Eisenhower Road

Proposed Business Narrative* for

THE BARN

a limited service guesthouse to be located at 18131 Eisenhower Road

Current Use:

Currently there are two structures located at 18131 Eisenhower Road. We (Doug and Kendra DeLashmutt) reside in the primary building. The secondary building is a 40' x 45' structure with an approximate 1,100 sq. ft. of finished space that is currently used to entertain family and friends. The remaining unfinished area is used as a storage and a workshop.

Proposed Use:

Our plan is to make the finished portion of the secondary building available to short-term guests. As a limited-service guesthouse (or airb&b), we think that this rustic space would attract people looking for an affordable way to get away from the chaos of everyday city life. We also plan to offer special discounts for active-duty military.

THE BARN, as we will call it, features two bedrooms, living and dining area, cable/wifi, full bath, kitchen and laundry facilities. Set on our 14-plus acre property, guests can also explore the outdoors by walking trails that run along Little Stranger Creek. We also have games, a unique scavenger hunt and fire pit. Future plans to add an outdoor dining area, deck and outdoor games (such as disc golf) are forecast to be in place by 2023.

Hours of Operation:

Retail hours of operation will not apply for our guesthouse business plan. However, guests will be asked to check in at 4 pm and check out at 10 am.

Staffing:

THE BARN will be owner-operated. At this time, we have no plans to hire a staff.

Signage/Outdoor Displays:

No signage and outdoor displays will not be required, because we will rely on word-of-mouth referrals and advertise through online rental websites.

Chemicals:

Not applicable, except for everyday household cleaners/detergents.

Sewage:

The property already has a residential waste stabilization lagoon in place. No additional sewage system will be necessary.

Water:

No additional water lines are required.

Noise/Sound:

THE BARN will cater to families and couples. Because maximum capacity is four (4) persons and guests will not be permitted to have unauthorized visitors onto the property, the noise levels are not expected to be excessive. Additionally, because we reside on the property, guest activity can be easily monitored and there will be no unauthorized usage (such as large parties or underage gatherings).

Lubricants/Odors/Fumes:

Not applicable for our guesthouse business plan.

Accessory Building:

THE BARN is located in an existing, detached structure on our property. There will be no new construction.

Parking/Storage/Maintenance:

This property currently includes ample parking for our guests. There will be a two-car limit per stay. No additional storage or parking structures will be required.

Alcohol Service:

We will not provide, serve or sell alcohol to our patrons.

Dust Control:

Not applicable for our guesthouse business plan.

Emergency Services:

Emergency contact numbers will be displayed prominently. Additionally, there will be a weather radio, fire extinguishers, smoke and carbon-monoxide detectors and first-aid kit. None of the structures have a basement or below-ground shelter.

Lighting:

Not applicable for our guesthouse business plan.

Traffic:

THE BARN operations will not require an outside staff, so any traffic coming on and off the property daily will be no more than normal residential activity. At this time, we do not anticipate receiving deliveries on a regular basis.

Conclusion:

We would truly appreciate the opportunity to share our home and this unique, history-rich community with short-term guests from near and far. It would be our sincere honor to contribute to Leavenworth County by bringing people into the area. We will proudly promote area attractions, historical sights, and our city's unique shopping and dining spots. Thank you for your consideration and help in making **THE BARN** a reality.

**This narrative was created by Doug and Kendra DeLashmutt using the guideline on page 6 of the county's Special Use Permit Application Procedures handout*



Laura Kelly, Governor
Mark A. Burghart, Secretary

www.ksrevenue.org

CERTIFICATE OF TAX CLEARANCE

Doug K Delashmutt

ISSUE DATE

12/15/2020

TRANSACTION ID

TB6E-3EPF-48S2

CONFIRMATION NUMBER

C57D-KPCT-24Y6

TAX CLEARANCE VALID THROUGH 03/15/2021

*Verification of this certificate can be obtained on our website, www.ksrevenue.org,
or by calling the Kansas Department of Revenue at 785-296-3199*

From: [Amanda Tarwater](#)
Sent: Thursday, December 31, 2020 3:03 PM
To: [Clements, Jared](#)
Subject: Re: DEV-20-159 SUP DeLashmutt AirBnB

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

FreeState has no objection to this application.

Thank you,

Amanda Tarwater
Member Account Coordinator



1-800-794-1989 | www.freestate.coop

From: "Clements, Jared"
Date: Thursday, December 31, 2020 at 2:47 PM
To: "Magaha, Chuck" , "Van Parys, David" , "Thorne, Eric" , "Miller, Jamie" , "Anderson, Lauren" , "Johnson, Melissa" , "mpleak@olsson.com" , "firedistrict1@fd1lv.org" , Amanda Tarwater , 'Rural Water'
Subject: DEV-20-159 SUP DeLashmutt AirBnB

Warning: This message originated outside of the FEC organization. Do not click links or open attachments unless you have validated the sender and know the content is safe. <="" span="">

The Department of Planning and Zoning has received an application for a Special Use Permit regarding a Bed and Breakfast.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048

From: [Mitch Pleak](#)
Sent: Monday, January 4, 2021 4:11 PM
To: [Clements, Jared](#)
Cc: [Anderson, Lauren](#); [Noll, Bill](#); [019-2831](#)
Subject: RE: DEV-20-159 SUP DeLashmutt AirBnB

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Jared,
Lauren and I have reviewed the application. PW has no comments towards the application.

Sincerely,

Mitch Pleak, PE
Project Engineer / Civil

D 913.748.2503

7301 W. 133rd Street, Suite 200
Overland Park, KS 66213
O 913.381.1170



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From: Clements, Jared
Sent: Thursday, December 31, 2020 2:47 PM
To: Magaha, Chuck ; Van Parys, David ; Thorne, Eric ; Miller, Jamie ; Anderson, Lauren ; Johnson, Melissa ; Mitch Pleak ; firedistrict1@fd1lv.org; Amanda.holloway@freestate.coop; 'Rural Water'
Subject: DEV-20-159 SUP DeLashmutt AirBnB

The Department of Planning and Zoning has received an application for a Special Use Permit regarding a Bed and Breakfast.

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning

From: [Rural Water](#)
Sent: Saturday, January 2, 2021 11:57 AM
To: [Clements, Jared](#)
Subject: RWD#8 Re: Dev-20-159 Delashmutt

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Clements:

RWD#8 provides water service to 18131 Eis. Rd. with a 4" water line. The account is in good standing with RWD#8.

--

Becky Fousek

Office Manager

Rural Water District #8-LV CO

Case No. DEV-21-002
Free State Electric
Special Use Permit – Solar Farm
Public Hearing Required

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** FreeState Electric Cooperative
1100 SW Auburn Road
Topeka, KS 66615

Legal Description: A tract of land in the southeast ¼ of Section 26, Township 10 South, Range 21 East of the 6th P.M, in Leavenworth County, Kansas.

Location: 00000 Tonganoxie Drive, located directly northeast of 20667 Tonganoxie Drive

Parcel Size: ± 6.9 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential land use category.

Parcel ID No.: 147-26-0-00-00-014.07

Planner: Krystal A. Voth

REPORT:

Request

The applicant is requesting a Special Use Permit for a solar farm on a tract of land located directly adjacent to an existing electric substation.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are no Special Flood Hazard Areas on this parcel per FEMA Firm Map 20103C0225G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Stranger
Water: RWD 9
Electric: FreeState

Access/Streets

The property is accessed by Tonganoxie Drive, a County Arterial Roadway with a hard surface.

Agency Comments

All agency comments and concerns have been addressed. No outstanding items remain.

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Special Use Permit request:

1. Character of the neighborhood: The character of the neighborhood is rural; primarily rural residences, and agricultural uses.
2. Zoning and uses of nearby property: The surrounding properties are zoned RR-5, Rural Residential 5-acre minimum size parcels. The uses are rural residences and agricultural.
3. Suitability of the property for the uses to which it has been restricted: The property is within an area suited for rural residences and agricultural use. The use is allowed with approval of a Special Use Permit.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: The area will not likely be detrimentally affected. The applicant currently owns the subject property which is located directly next to an existing substation. There will not be an increase in traffic. The applicants provided a drainage report which concludes the addition of the solar panels will not cause additional runoff.
5. Length of time the property has been vacant as zoned: The property has never been developed upon.
6. Relative gain to economic development, public health, safety and welfare: The proposed use will provide a source of renewable energy, will provide income to the co-op and will provide revenue for co-op members.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential.
8. Staff recommendation is for the approval of Special Use Permit with conditions.

Staff Analysis

<u>LOCATION</u>	
Adjacent Residences	The area is primarily comprised of rural residences and farmland.
Adjacent Zoning/Uses	Zoning in the area is RR-5 and are used primarily as rural residences and agricultural uses.
Density	The area is not densely populated.
Nearby City Limits	The property is not located near an incorporated city.
Initial Growth Management Area	The property is located not located within an initial Growth Management Area.

<u>IMPACT</u>	
Noise Pollution	The use will not cause any additional noise pollution.
Traffic	There will not be additional traffic associated with this use.
Lighting	The applicant does not have lighting other than security lighting and is not requesting lighting.
Outdoor Storage	No outdoor storage.
Parking	The applicant has ample parking space for employees.
Visitors/Employees	The stie will be visited periodically by a maintenance worker.
Waste	The use will not create waste.

SITE COMPATABILITY	
Size of Parcel	The parcel is six (6) acres in size.
Zoning of Parcel	The parcel is zoned Rural Residential-5
Buildings (Existing & Proposed)	The site will be comprised of solar panels.
Setbacks	Structures will meet required setbacks.
Screening	There will be a safety fence. Screening is not necessary.

Staff Comments

The applicants are proposing a solar farm located directly next to an existing substation. The existing substation has a current, lifetime Special Use Permit. The location is ideal given the proximity to the substation and the open area, which is necessary for solar farms. The proposed solar farm is located on a parcel that is approximately 6.9 acres. The solar farm is expected to generate up to 1 megawatt of solar energy. Staff had concerns regarding potential runoff from the panels. The applicants provided a drainage report which has been accepted by Olsson. The report shows no measurable increase in runoff. The use will not cause additional traffic or noise. Staff recommends approval of the special use permit. Given the nature of the use, Staff recommends a lifetime SUP.

STAFF RECOMMENDATION:

Staff recommends approval of Case No.DEV-21-002, Special Use Permit for FreeState Electric – Solar Farm, with the following conditions:

1. The SUP shall be granted for the duration of the use.
2. No signage is allowed in the right-of-way. No signage is requested with the SUP. All signage shall comply with Article 25, Sign Regulations of the Leavenworth County Zoning and Subdivision Regulations.
3. No on-street parking shall be allowed.
4. This SUP shall be limited to the Narrative dated January 7, 2021 submitted with this application.
5. This SUP shall comply with all local, state, and federal rules and regulations that may be applicable. After approval of this SUP by the Board of County Commission all conditions listed shall be adhered to and copies shall be provided to the Planning and Zoning Department within 30 days.

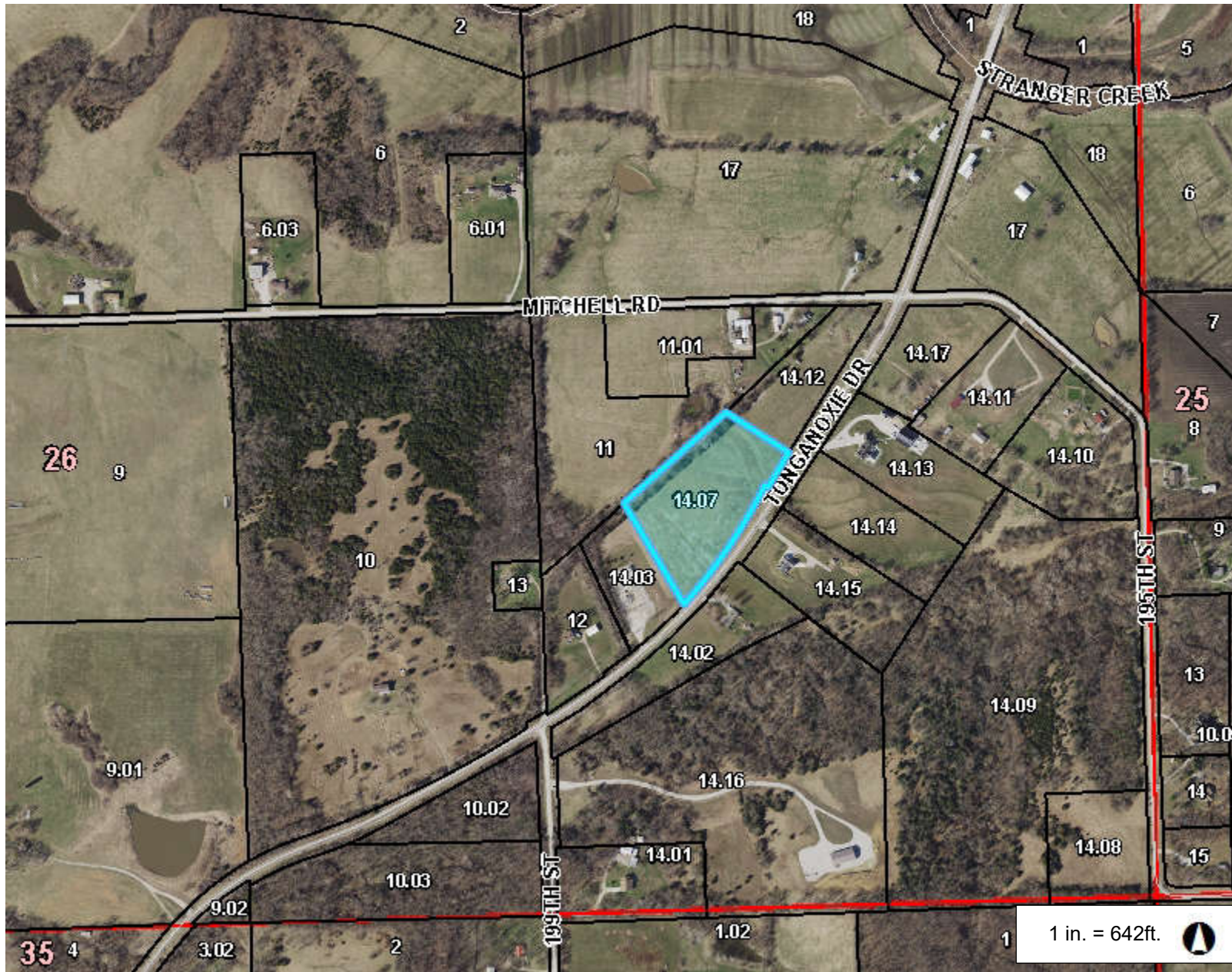
ACTION OPTIONS:

1. Recommend approval of Case No. DEV-21-002, Special Use Permit for FreeState Electric – Solar Farm?, to the Board of County Commission, with Findings of Fact, and with or without conditions; or
2. Recommend denial of Case No. DEV-21-002, Special Use Permit for FreeState Electric – Solar Farm, to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:


Narrative
 Location/Aerial Maps
 Memorandums

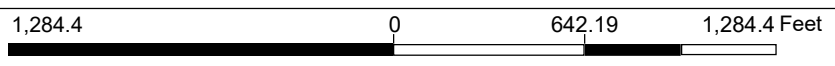
FreeState Solar Farm SUP



Legend

- Parcel Number
- Parcel
- City Limit Line
- Major Road
 - <all other values>
 - 70
- Road
- Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 642ft. 



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

Voth, Krystal

From: Mitch Pleak <mpleak@olsson.com>
Sent: Friday, January 29, 2021 8:40 AM
To: Voth, Krystal
Cc: Anderson, Lauren; Noll, Bill; 019-2831
Subject: FW: Free State Solar Development

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Krystal,
The drainage report submitted address all comments. I have enclosed the drainage report received in the link below for Bill and Lauren's records.

<https://oaconsulting.sharefile.com/d-s265a95e8b7fa4958872462cf9a25b4cc>

Sincerely,

Mitch Pleak

Mitch Pleak, PE

Project Engineer / Civil

D 913.748.2503

7301 W. 133rd Street, Suite 200
Overland Park, KS 66213
O 913.381.1170



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From: David Lutgen <dlutgen72@gmail.com>
Sent: Thursday, January 28, 2021 8:10 PM
To: Voth, Krystal <KVoth@leavenworthcounty.gov>; Mitch Pleak <mpleak@olsson.com>
Cc: Learon Dalby <ldalby@todayspower.com>; Keaghan Economon <keconomon@todayspower.com>
Subject: Re: Free State Solar Development

Revised drainage report is attached.

Thanks

David Lutgen, P.E.

On Thu, Jan 28, 2021 at 3:05 PM Voth, Krystal <KVoth@leavenworthcounty.gov> wrote:

All,

Please see the response below:

Question: Can you clarify this comment - Please give an explanation of how the panels increase the impervious area (ie only the piers come in contact with the ground). The panels do not increase the impervious area so how/why would I explain that they do.

Response: Provide a statement that the solar panels itself are not in contact with the ground and therefore not an impervious area. However, the piers are in contact with the ground. The purpose of the statement is to support minimal quantifiable impact from the solar array.

Thanks,

Krystal

From: Learon Dalby <ldalby@todayspower.com>

Sent: Thursday, January 28, 2021 2:34 PM

To: Voth, Krystal <KVoth@leavenworthcounty.gov>

Cc: Mitch Pleak <mpleak@olsson.com>; David Lutgen <dlutgen72@gmail.com>; Keaghan Economon <keconomon@todayspower.com>

Subject: RE: Free State Solar Development

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Krystal,

Can you confirm we have meet all of the requested items?

Learon Dalby

Today's Power, Inc.

501-920-2446

ldalby@todaypower.com

From: David Lutgen <dlutgen72@gmail.com>
Sent: Wednesday, January 27, 2021 8:18 PM
To: Mitch Pleak <mpleak@olsson.com>; Voth, Krystal <KVoth@leavenworthcounty.gov>
Cc: Learnon Dalby <ldalby@todaypower.com>
Subject: Free State Solar Development

Mitch,

Can you clarify this comment - *Please give an explanation of how the panels increase the impervious area (ie only the piers come in contact with the ground).*

The panels do not increase the impervious area so how/why would I explain that they do.

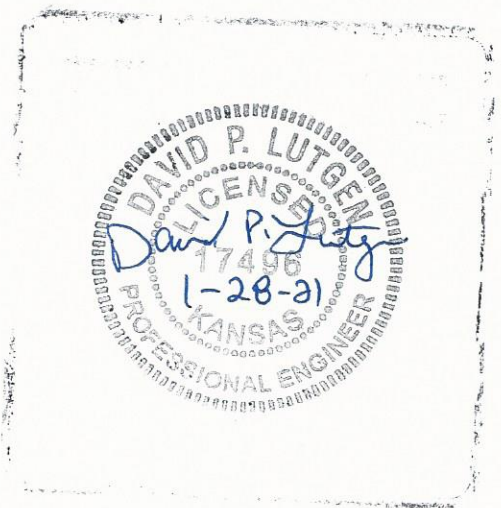
Krystal,

Has the County ever required a drainage report from a SUP request to build an event barn? Those are typically building very large structures. I do prepare a lot of drainage reports in the County and I don't recall ever doing one for a SUP.

Thanks

David Lutgen, P.E.

Stranger Solar
Leavenworth County Kansas
Drainage Report
Prepared January 25, 2021
Revised January 28, 2021



Stranger Solar
Leavenworth County Kansas

Drainage Report

Prepared January 25, 2021

Revised January 28, 2021

Parcel Information - The 6.9-acre (+/-) parcel is located on the west side of Tonganoxie Drive north of Tonganoxie in Leavenworth County KS. It is located directly north of 20667 Tonganoxie Drive. The parcel is zoned RR 5.0.

Existing Conditions – The parcel appears to be currently used as a hay field. There are no structures on the parcel. There is a tree line along the west property line. The site slopes to the east and can be divided into two drainage areas as shown on exhibit #1. A c value of 0.36 was used for each drainage area. The c value is based on the soil type, slopes, and existing land use, see Exhibits #2 and #4.

Developed Conditions – Free State Electric is planning to construct a solar array on this parcel of ground which is directly north of an existing power substation. The solar array will cover approximately 50% of the parcel. The solar panels are mounted on beams above the ground, see exhibit #5. The beams are driven into the ground to minimize the area disturbed during construction. The area under the solar panels and the remainder of the parcel will be planted in native grasses. A gravel entrance /parking area will be constructed from the substation property in the south east corner of the property. This area is approximately 3,300 sq ft (0.08 acres). A c value of 0.50 was used for the gravel area, see exhibit #3. A composite c value was calculated for each drainage area

Developed	c value	Acres in each Drainage Area			
		DA #1	DA #2		
Pasture	0.36	3.70	3.12		
Gravel Driveway	0.50	0.00	0.08		
Composite c		0.36	0.36		

$$\text{composite c} = \frac{(\text{Pasture Acres} * 0.36 + \text{Gravel Driveway Acres} * 0.50)}{\text{Total Acres}}$$

The storm water runoff for existing and developed conditions is summarized in the following tables. Calculations for the storm water runoff are included with the report.

DA #1

	Q10	Q100
Existing	7.1	12.6
Developed	7.1	12.6
Change	0%	0%

DA #2

	Q10	Q100
Existing	6.2	11.0
Developed	6.2	11.0
Change	0%	0%

Conclusion – The small amount of less impervious area being added by this project does not change the c value for the property. There is no measurable impact to the storm water runoff from the site.

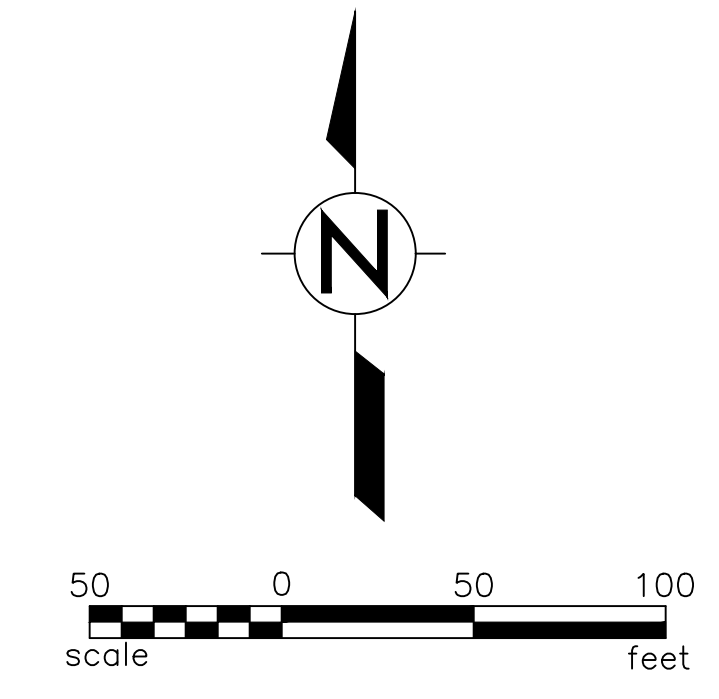


Exhibit #1



PROJECT	STRANGER SOLAR
	LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
SHEET	C03.01
REV	0
TITLE	EXISTING CONDITIONS

TABLE 1 Values of Runoff Coefficient C

URBAN AREAS:	
Type of drainage area	Runoff coefficient C
Lawns:	0.05 - 0.10
Sandy soil, flat 2%	
Sandy soil, average, 2 - 7%	0.10 - 0.15
Sandy soil, steep, 7%	0.15 - 0.20
Heavy soil, flat, 2%	0.13-0.17
Heavy soil, average, 2 - 7%	
Heavy soil, steep, 7%	0.18 - 0.22
Business:	0.70 - 0.95
Downtown areas Neighborhood areas	0.50.0.70
Residential:	0.30 - 0.50
Single-family areas	0.40 - 0.60
Multi units, detached Multi units,	0.60 - 0.75
attached Suburban	0.25 - 0.40
Apartment dwelling areas	0.50 - 0.70
Industrial:	
Light areas	0.50 - 0.80
Heavy areas	0.60 - 0.90
Parks, cemeteries	0.10 - 0.25
Playgrounds	0.20 - 0.35
Railroad yard areas	0.20 - 0.40
Unimproved areas	0.10 - 0.30
Streets:	0.70 - 0.95
Asphaltic	0.80 - 0.95
Concrete	0.70 - 0.85
Brick	
Drives and walks	0.75 - 0.85
Roofs	0.75 - 0.95

AGRICULTURAL AREAS:

Topography and Vegetation	Runoff Coefficient C Soil Texture		
	Soil Texture		
	Open Sandy Loam	Clay and Silt Loam	Tight Clay
Woodland			
Flat 0 - 5% Slope	0.10	0.30	0.40
Rolling 5 - 10% Slope	0.25	0.35	0.50
Hilly 10 - 30% Slope	0.30	0.50	0.60
Pasture			
Flat	0.10	0.30	0.40
Rolling	0.16	0.36	0.55
Hilly	0.22	0.42	0.60
Cultivated			
Flat	0.30	0.50	0.60
Rolling	0.40	0.60	0.70
Hilly	0.52	0.72	0.82

Source - Natural Resources Conservation Service (NRCS) US Department of Agriculture (USDA) Peak Discharge Course
https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/stelprdb1083019.pdf

Exhibit #2

Table 3-1 Runoff Coefficients for Rational Formula

Type of Drainage Area	Runoff Coefficient, C*
Concrete or Asphalt Pavement	0.8 – 0.9
Commercial and Industrial	0.7 – 0.9
Gravel Roadways and Shoulders	0.5 – 0.7
Residential – Urban	0.5 – 0.7
Residential – Suburban	0.3 – 0.5
Undeveloped	0.1 – 0.3
Berms	0.1 – 0.3
Agricultural – Cultivated Fields	0.15 – 0.4
Agricultural – Pastures	0.1 – 0.4
Agricultural – Forested Areas	0.1 – 0.4

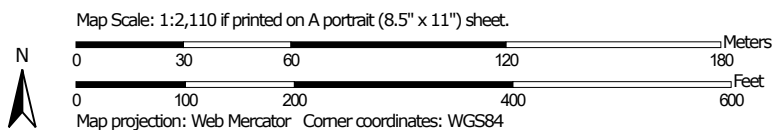
For flat slopes or permeable soil, lower values shall be used. For steep slopes or impermeable soil, higher values shall be used. Steep slopes are 2:1 or steeper.

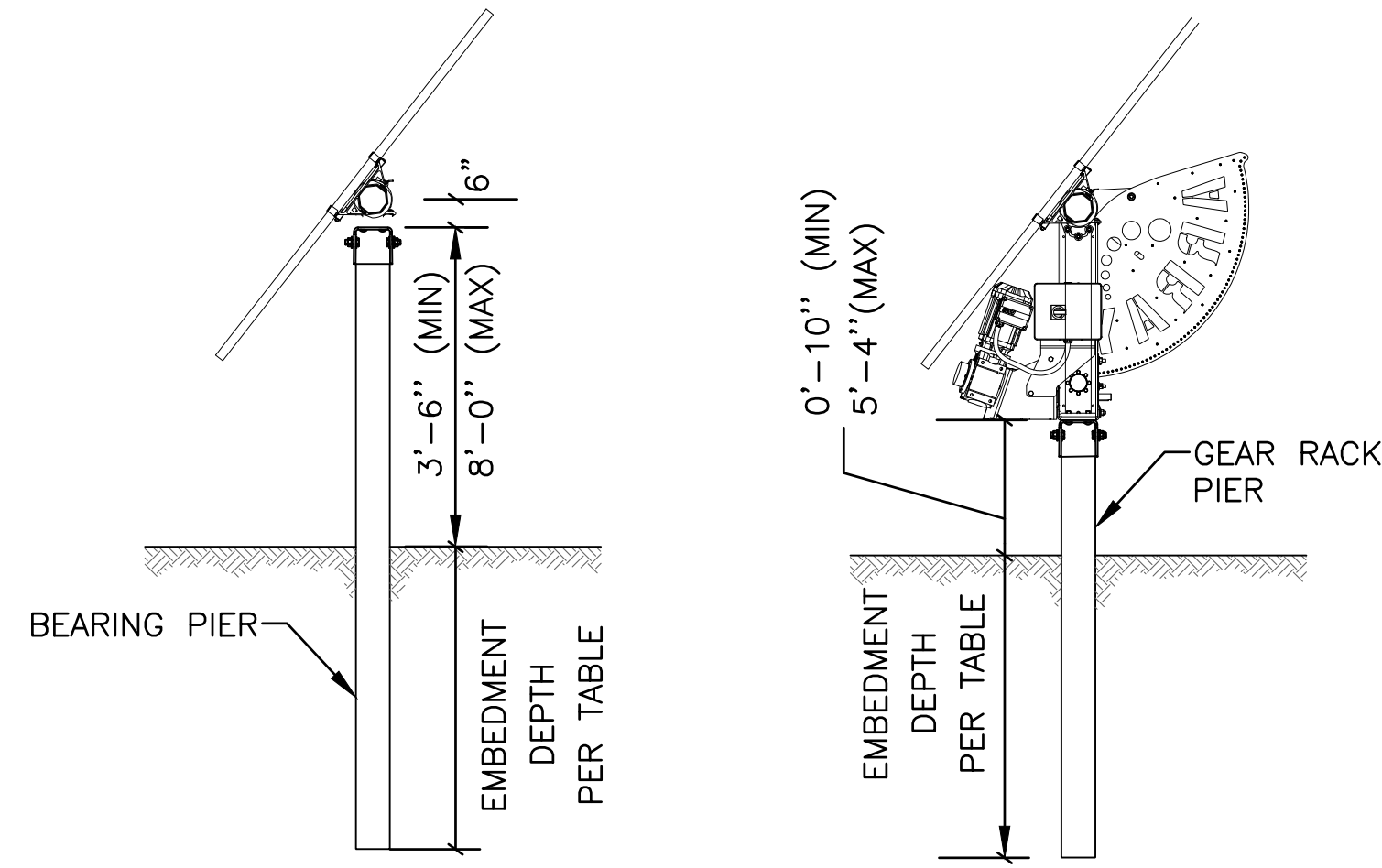
From Michigan State Administrative Rules R 280.9.

Referenced from MDOT Drainage Manual, www.michigan.gov



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
7234	Elmont silt loam, 3 to 7 percent slopes, eroded	9.5	100.0%
Totals for Area of Interest		9.5	100.0%





3 TRACKER FOUNDATIONS
SCALE: N.T.S. VIEW: ELEVATION

TORQUE TUBE HEIGHT	PIER TYPE	PIER SIZE	EMBEDMENT DEPTH (MIN)
5'-6"	INTERIOR ARRAY PIER	W6x9	7'-3"
	EXTERIOR ARRAY PIER	W6x10.5	7'-9"
7'-0"	INTERIOR ARRAY PIER	W6x10.5	7'-9"
	EXTERIOR ARRAY PIER	W6x12	7'-9"
8'-6"	INTERIOR ARRAY PIER	W6x12	8'-3"
	EXTERIOR ARRAY PIER	W6x15	8'-3"
COMBINER BOX/EQUIPMENT RACK POST		W6x9	6'-0"

EXHIBIT #5



PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

SHEET
C08.05

TITLE
STRUCTURAL DETAILS

REV
0

Drainage Area #1- 10 year

Existing Conditions

Area = 3.7 acres
C= 0.36
L= 500
S= 5.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 0.83$$

$$T_c = 13.9$$

$$i_{10} = 5.35$$

$$Q = KCiA$$

$$Q = 7.1 \text{ cfs}$$

Developed Conditions

Area = 3.7 acres
C= 0.36
L= 500
S= 5.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 0.83$$

$$T_c = 13.9$$

$$i_{10} = 5.35$$

$$Q = KCiA$$

$$Q = 7.1 \text{ cfs}$$

Drainage Area #1 - 100 year

Existing Conditions

Area = 3.7 acres
C= 0.36
L= 500
S= 5.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < Tc < 15

$$T_i = 13.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < Tc < 60

$$T_t = 0.83$$

$$T_c = 13.9$$

$$i_{100} = 7.60$$

$$Q = KCiA$$

$$Q = 12.6 \text{ cfs}$$

Developed Conditions

Area = 3.7 acres
C= 0.36
L= 500
S= 5.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{100} = 256/(T_c + 19.8)$$

5 < Tc < 15

$$T_i = 13.1$$

$$i_{100} = 331/(T_c + 30)$$

15 < Tc < 60

$$T_t = 0.83$$

$$T_c = 13.9$$

$$i_{100} = 7.60$$

$$Q = KCiA$$

$$Q = 12.6 \text{ cfs}$$

Drainage Area #2- 10 year

Existing Conditions

Area = 3.2 acres
C= 0.36
L= 450
S= 5.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 0.75$$

$$T_c = 13.8$$

$$i_{10} = 5.36$$

$$Q = KCiA$$

$$Q = 6.2 \text{ cfs}$$

Developed Conditions

Area = 3.2 acres
C= 0.36
L= 450
S= 5.5
K= 1

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3}$$

L max = 300

$$i_{10} = 175/(T_c + 18.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{10} = 214/(T_c + 26.7) \quad 15 < T_c < 60$$

$$T_t = 0.75$$

$$T_c = 13.8$$

$$i_{10} = 5.36$$

$$Q = KCiA$$

$$Q = 6.2 \text{ cfs}$$

Drainage Area #2 - 100 year

Existing Conditions

Area = 3.2 acres
C= 0.36
L= 450
S= 5.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 0.75$$

$$T_c = 13.8$$

$$i_{100} = 7.61$$

$$Q = KCiA$$

$$Q = 11.0 \text{ cfs}$$

Developed Conditions

Area = 3.2 acres
C= 0.36
L= 450
S= 5.5
K= 1.25

$$T_i = 1.8(1.1-C)L^{.5}/S^{1/3} \quad L_{max} = 300$$

$$i_{100} = 256/(T_c + 19.8) \quad 5 < T_c < 15$$

$$T_i = 13.1$$

$$i_{100} = 331/(T_c + 30) \quad 15 < T_c < 60$$

$$T_t = 0.75$$

$$T_c = 13.8$$

$$i_{100} = 7.61$$

$$Q = KCiA$$

$$Q = 11.0 \text{ cfs}$$

SPECIAL USE PERMIT APPLICATION PROCEDURES

For

**THE UNINCORPORATED AREA OF
LEAVENWORTH COUNTY, KANSAS**

**A PRE-APPLICATION CONFERENCE IS REQUIRED PRIOR TO
SUBMITTAL OF ANY APPLICATION**

**DEADLINE: All application materials shall be submitted by
application deadline as indicated on the current Planning Commission
Schedule and Deadlines form.**

ALL APPLICATION FEES ARE NON-REFUNDABLE

For more information contact:
Leavenworth County Department of Planning and Zoning
300 Walnut St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
pz@leavenworthcounty.gov
913-684-0465

SPECIAL USE PERMIT PROCEDURES

APPLICANT RESPONSIBILITIES: Omission of any of the following items may delay the review and processing of the application.

- A. Complete application form. (Attachment A)
- B. Legal Description (current deed) of the property.
- C. Payment of application fee. Make check payable to Leavenworth County Planning & Zoning.
- D. Owner Authorization Form if not the legal owner of the property (Attachment B)
- E. Site Plan (one physical copy along with one digital copy)
- F. A written narrative description of the proposed plan.
- G. A tax clearance certificate from the state and a paid tax receipt from Leavenworth County. If property is owned in additional counties/states certificates and receipts will be required from those entities as well.
- H. Applicant or applicant's representative must attend the Planning Commission and Board of County Commissioner's Hearing.

FOR ADDITIONAL REQUIREMENTS, PLEASE REFER TO THE LEAVENWORTH COUNTY ZONING AND SUBDIVISION REGULATIONS, WHICH INCLUDES THE FOLLOWING ARTICLES APPLICABLE TO SPECIAL USE PERMITS.

- 1. Article 22 – Special Use Permits and Temporary Use Permits; Leavenworth County Zoning and Subdivision Regulations
- 2. Article 25 – Sign Regulations; Leavenworth County Zoning and Subdivision Regulations
- 3. Article 27 – Site Plan (for Staff Review and Approval)
- 4. All other applicable Regulations – depending on the use.

DEADLINE: See Planning Commission Schedule and Deadlines form.

PLANNING DEPARTMENT PROCEDURES

Public Hearing: The Planning Department will schedule a hearing before the Planning Commission.

Posting of Sign: The Planning Department will post a sign on the property prior to the date of the public hearing.

Newspaper Publication: The Planning Department will publish the Legal notice of the public hearing 20 days prior to the date of public hearing.

Letter of Notification: The Planning Department will mail notices of the public hearing, to all property owners within 1,000 feet (Unincorporated area) and 200 feet (Incorporated area) of the subject property at least 20 days prior to the public hearing.

Protest Period: See KS Statute 12-757.

Board of County Commission – The Board of County Commission will hear the recommendations of the Planning Commission and make a decision.

Following approval of a Special Use Permit, if it is necessary for the Permit to be reevaluated because of the creation of nuisances, or hazards to the public health, safety and/or welfare, the Board of County Commissioners may initiate the process to rescind approval of the Special Use Permit, such procedure to be the same procedure that was followed in approving the original Special Use Permit.

SPECIAL USE PERMIT APPLICATION

Leavenworth County Planning Department
300 Walnut, St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
913-684-0465

Office Use Only

PID: _____ Date Received: _____
Township _____
Planning Commission Date: _____
Case No. _____ Date Paid _____
Zoning District _____
Comprehensive Plan land use designation _____

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>FreeState Electric Cooperative</u> <small>(Formerly Leavenworth-Jefferson Electric Cooperative)</small>	NAME _____
ADDRESS <u>1100 SW Auburn Rd</u>	ADDRESS _____
CITY/ST/ZIP <u>Topeka, KS 66615</u>	CITY/ST/ZIP _____
PHONE <u>785-438-4825</u>	PHONE _____
EMAIL <u>eric.wylie@freestate.coop</u>	EMAIL _____
CONTACT PERSON <u>Eric Wylie, Engineering Manager</u>	CONTACT PERSON _____

PROPOSED USE INFORMATION

Existing and Proposed structures No Existing Structures. Propose to build a 1 Megawatt Solar Array

Reason for requesting a Special Use Permit Build a 1 Megawatt Solar Farm

Parcel -R306027

PROPERTY INFORMATION

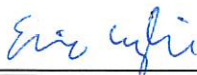
Address of property 20667 Tonganoxie Dr, Tonganoxie, KS 66086 Parcel size 6.972 Acres

Current use of the property Vacant

Does the owner live on the property? No Yes, _____

Does the applicant own property in states or counties other than Kansas and Leavenworth County? Other Counties within Kansas

I, the undersigned am the (circle one) owner, duly authorized agent, of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for a Special Use Permit as indicated above. **I hereby agree to "cease and desist" the operation of the activity upon denial of the permit by the Board of County Commissioners.**

Signature  Date 01/07/2021

ATTACHMENT A

OWNER AUTHORIZATION

I/WE FreeState Electric Cooperative (formerly Leavenworth-Jefferson Electric Cooperative), hereby referred to as the "Undersigned", being of lawful age, do hereby on this 21 day of December, 2020, make the following statements, to wit:

1. I/We the Undersigned, on the date first above written, am the lawful, owner(s) in fee simple absolute of the following described real property

See Exhibit A attached hereto and incorporated herein by reference.

2. I/We the undersigned, have previously authorized and hereby authorize Eric Wylie (Hereinafter referred to as "Applicant"), to act on my/our behalf for the purpose of making application with the Planning Office of Leavenworth County, Kansas, 20667 Tonganoxie Dr, Tonganoxie, KS 66086 (common address) the subject real property, or portion thereof, and which authorization includes, but is not limited to, all acts or things whatsoever necessarily required of Applicant in the application process.

3. I/We the Undersigned, hereby agree to protect, defend, indemnify and hold the Board of County Commissioners of Leavenworth County, Kansas, its officers employees and agents (hereinafter collectively referred to as the "County"), free and harmless from and against any and all claims, losses, penalties, damages, settlements, costs, charges, professional fees or other expenses or liabilities, whether false, fraudulent, meritless or meritorious, of every kind and character arising out of or relating to any and all claims, liens, demands, obligations, actions, proceedings, or causes of action of every kind and character (hereinafter "claims"), in connection with, relating to, or arising directly or indirectly out of this authorization and the actions taken by the Applicant and the County in reliance thereof. I, the Undersigned, hereby further agree to investigate, handle, respond to, provide defense for and defend any such claims at my sole expense and agree to bear all other costs at my sole expense and agree to bear all other costs and expenses related thereto, even if such claims are groundless, false or fraudulent.

4. It is understood that in the event the Undersigned is a corporation or partnership then the individual whose signature appears below for and on behalf of the corporation or partnership has in fact the authority to so bind the corporation or partnership to the terms and statements contained within this instrument.

IN WITNESS THEREOF, I, the Undersigned, have set my hand and seal below.

Steven O. Foss
Owner Steven O. Foss
CEO/ General Manager

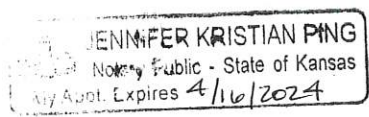
Owner

STATE OF KANSAS
COUNTY OF LEAVENWORTH

The foregoing instrument was acknowledge before me on this 21st day of December, 2020, by Steven O. Foss

My Commission Expires:

Jennifer K. Berg
Notary Public



FreeState Electric Cooperative

Request for Special Use Permit to Install 1 MW Solar Farm Northeast of Existing Substation at 20667 Tonganoxie Dr

Executive Summary:

Parcel R306027 was purchased by FreeState Electric Cooperative (FEC) in December 2014. It was purchased for two purposes. The first, was to create a property buffer between any residential dwellings and FEC's Stranger Substation. The second, was preparation for installing a solar array or battery storage in the future. This parcel, as surveyed by Rod Zinn in 2020, is 6.972 Acres.

This parcel does not have existing structures, and it has not been in use since FEC purchased it. FEC has allowed the hay to be harvested from the parcel.

FEC wishes to install a 1MW solar farm on the parcel. Today's Power, Inc. will build, own, and maintain the solar farm for FEC.

FEC believes investing in renewable energy is the right thing to do. Until now, the pricing of a solar farm and the limitations in FEC's wholesale power contract have kept FEC from pursuing renewable energy.

The wholesale power contract was amended to allow FEC to pursue renewable energy within the last two years. FEC began pursuing renewable energy at that time.

The pricing of renewable energy for this project is appropriate for the project to be feasible for FEC's members. This solar project is a joint effort of multiple Electric Cooperatives across Kansas, allowing FEC to take advantage of pricing that works for the cooperative. There are several solar farms being installed under this Purchase Power Agreement (PPA).

If this solar farm were a stand-alone project, the pricing would not be viable for FEC's members.

FEC states that if this project is not completed, FEC's members will lose \$200,000 of wholesale power cost savings per year or up to two million dollars of savings lost over a 10-year period. Leavenworth County accounts for 3,421 (22.5%) of these member accounts.

In addition to the direct wholesale power cost savings, this project reduces the peak loading on the Stranger Substation transformer. This could delay capital investments needed to upgrade the substation transformer in the future. Again, delaying a significant expense for our members.

Solar Farm Site Description and Operation:

The site will be enclosed within a chain-link perimeter fence very similar to the fence around the Stranger Substation located immediately to the southwest. Attached to the fence will be warning and identification signs very similar in size and style as the signs attached to the existing Stranger Substation fence.

Accessory buildings are not needed for this site. The solar array and equipment will be the only structures erected.

The solar array is a 1-axis tracking array. It will track the sun from east to west each day to maximize the amount of solar energy collected each day.

Several rows of pier supports will be installed in the ground with the solar panels and tracking mechanisms being installed on top of the pier supports. The natural grass will be reestablished under the solar array after construction.

Site Access and Traffic:

FEC will use the existing driveway at 20667 Tonganoxie Drive for site access. A new access to Tonganoxie Drive will not be needed. Normal site traffic will be no more than the normal traffic to the existing Stranger Substation. Once site development is complete, a standard pickup will visit the site once a month for inspection. Other trips to the site would be dictated by maintenance or emergency service which is not expected to occur more than twice per year. Typical maintenance would include, but not be limited to, replacing a panels, inverters, or electrical breakers or a transformer

Initial construction would see typical construction traffic. It is estimated that the site will receive approximately 8 commercial trucks during construction to haul and/or deliver structures, solar panels, and other construction equipment to the site.

Security Lighting:

There will be not be any security lighting installed on the site.

Chemical and/or Liquid Storage:

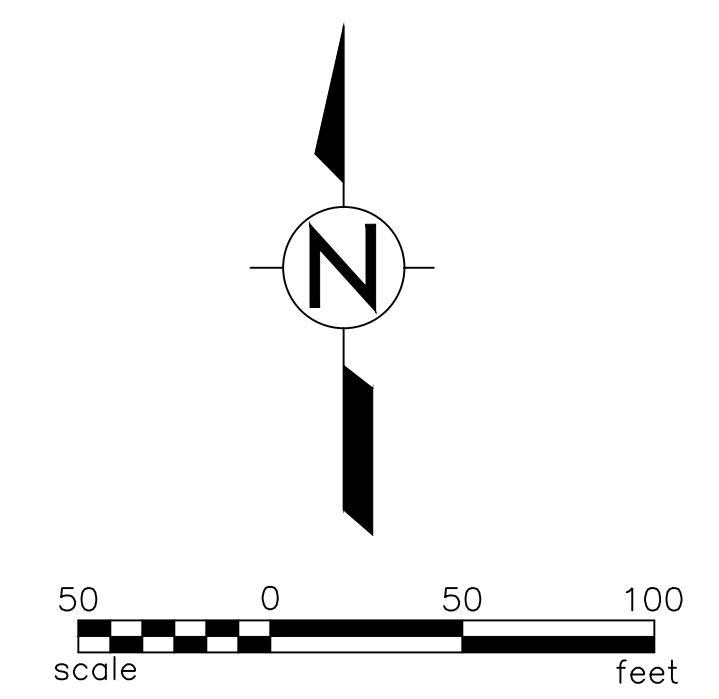
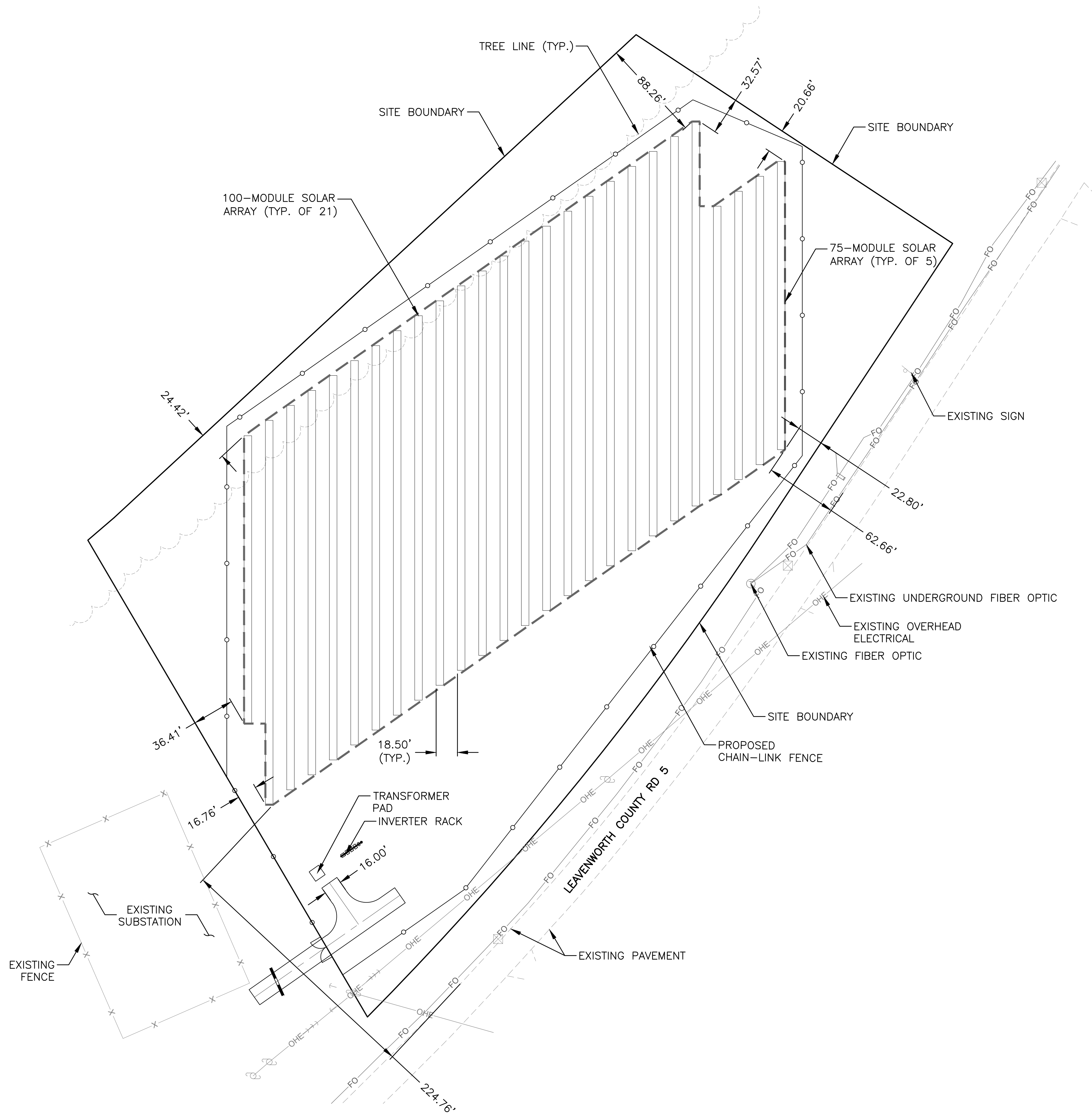
There will be not be any chemicals or liquid stored on the site. The only liquid on the site will be the insulating oil contained within the 1000 KVA step-up transformer located on the site.

Water and Sewage:

Water and Sewage services will not be needed on the site.

Sound and Odor Pollution:

The solar array will not produce any noise or odor pollution. The tracking motors are nearly inaudible. By far the loudest thing in the area is the 1000 kW diesel generator located within the Stranger Substation.



ENGINEER
AZTEC TYPSA

DEVELOPER
Today's Power

CONTRACTOR

--	--

REV	DATE	DESCRIPTION	DRW	CK	APV

SCALE: 1" = 50'
 SIZE: 22"x34"
 PROJECT#: AZENE2043-06

PROJECT
STRANGER SOLAR
 LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
SITE EXHIBIT



SHEET
 EX1.02

REV
 0

Miscellaneous Notes

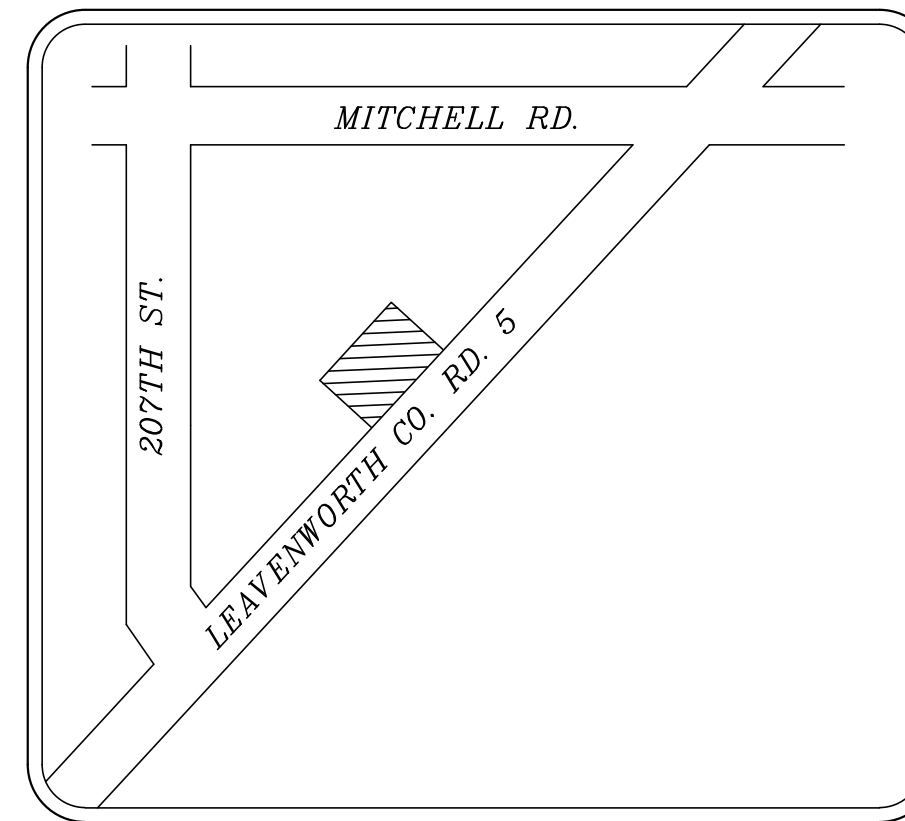
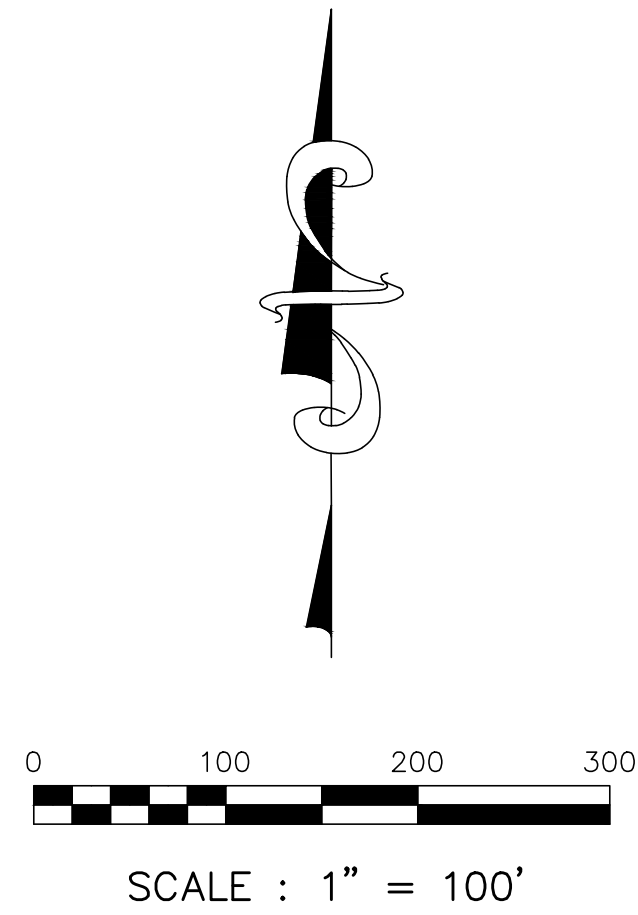
- (A)** The bearings shown hereon are based upon the Kansas State Plane Coordinate System, South Zone.
- (B)** This survey does not reflect any easements, rights-of-way or other instruments of record except those shown on the current mentioned Title Commitment.
- (C)** Underground utilities are shown by above ground markings provided by others.
- (D)** At the date this survey was done in the field, earth moving, asphalt paving, concrete work and construction was not complete.
- (E)** There is no evidence of subject site being used as a solid waste dump or sanitary land fill.
- (F)** There is no evidence of subject site being used as a burial ground or cemetery.
- (G)** Vertical Datum: LVCO CP 401, Aluminum Cap NAVD 88 ELEV. 907.70
- (H)** Outline area shown for design and layout purposes only. Client (Leavenworth-Jefferson Electric Cooperative Inc.) owns the property that the Solar Field is to be erected on. Overlaps parcel to South.
- (I)** County GIS of site shows a jog in the Southerly right-of-way along the Northern side of Leavenworth County Road No. 5. With discussion with Public Works, Mapping, Appraiser and Register of Deeds, no documentation could be provided defining that jog in right-of-way.

Possible Encroachments

(AA) TITLE NOT AVAILABLE - O & E Report Only

Zoning Information

TO BE PROVIDED BY THE CLIENT



Vicinity Map
Not To Scale
STRANGER SUB

Owners & Encumbrances Legal Description

Report No: 2401533 Revision A
Report Effective Date: December 2, 2020, at 7:30 a.m.
Property Address: Tonganoxie Dr., Tonganoxie, KS 66086

EXHIBIT "A"

All that part of the Southeast Quarter of Section 26, Township 10 South, Range 21 East of the Sixth P.M., lying West of County Road #5, less any part thereof taken or used for road or Highway purposes, all in Leavenworth County, Kansas.

(1) Beginning at a point 893.60 feet North 00°22'54" East from the Southwest corner of said Southeast Quarter and being on the Northerly right of way line of County Road #5 and also being on the West line of said Southeast Quarter; thence North 00°22'54" East 580.60 feet along said West line to the center-line of the Old Lawrence Road; thence North 51°29' East 150.0 feet along said center-line, thence South 14°10'02" East 522.43 feet to the Northerly right of way of County Road #5; thence at a right angle with said road, 10.00 feet Southeast to a point 40.00 feet from the center-line; thence in a Southwesterly direction on a curve to the right, having a center-line radius of 2864.90 feet, 300.00 feet to the Point of Beginning, in Leavenworth County, Kansas.

(2) 16 acres of land more or less in the Southeast Quarter of said Section 26, Township 10 South, Range 21 East of the Sixth P.M., described as beginning at the Northwest corner of said Quarter Section, running thence East to the West line of the Old Lawrence Road; thence West with the West line of said Road, to the West line of said Quarter Section; thence North to the Place of Beginning, in Leavenworth County, Kansas.

(3) Commencing at the Southwest corner of the Southeast Quarter; thence North 00°22'54" East along the West line of said Southeast Quarter 1473.46 feet; thence North 51°29'00" East along the centerline of the Old Lawrence Road 150.00 feet to the Point of Beginning; thence continuing North 51°29'00" East along said center line 57.00 feet; thence South 21°37'20" East 503.305 to the Northerly right of way of County Highway No. 5; thence following said right of way on a curve to the right having a radius of 2814.90 feet, a length of 124.97 feet, and a chord having a bearing of South 53°49'32" West, 124.96 feet; thence North 14°18'53" West, 522.12 feet to the Point of Beginning, in Leavenworth County, Kansas.

(4) Lot 5, in Voelker Family Farm, a Subdivision in the Southeast Quarter of Section 26, Township 10 South, Range 21 East of the Sixth P.M., Leavenworth County, Kansas.

Items Corresponding to Schedule B

- (2)** The possible existence of overhead or underground utility lines serving adjacent land or extending from the insured land onto adjacent land.
- (3)** Subject to existing road, street or highway rights of way.
- (4)** Easement granted to Board of County Commissioners Leavenworth County, Kansas, as set forth in the instrument filed as Book 310, Page 619. DOES NOT AFFECT SUBJECT PROPERTY.
- (5)** Right of Way Easement granted to Rural Water District No. 9, Leavenworth County, as set forth in the instrument filed as Book 503, Page 1070. EASEMENT TO FOLLOW LOCATION OF WATER LINE, UNDEFINED, NOT PLOTTABLE.

ALTA/NSPS Land Title Survey

To:
Freestate Electric Cooperative, Inc.
Security 1st Title.
Today's Power Inc.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(c), 8, 9, 10, 11, 13, 14, 16, 17, 18 and 20 of Table A thereof. The field work was completed in October 5, 2020.

Rodney R. Zinn, L.S. No. 1559

Legend of Symbols & Abbreviations

○	Existing Iron Rod Origin Unknown (unless noted)	(M)	Measured Dimension
●	Set 1/2"x24" Iron Rod/Cap (unless otherwise noted)	(D)	Deed Dimension
△	Section Corner Origin Unknown (unless noted)	(P)	Plat Dimension
---	Boundary Line	R/W	Right of Way
---	Setback Line	Conc.	Concrete
---	Fence	⊗	Water Meter
---	Overhead Electric Line	⊕	Guy Wire
---	Water Line	⊗	Gas Meter
---	Gas Line	⊕	Mailbox
---	Underground Telephone	⊕	Telephone Riser Box
---	Sanitary Sewer Line	⊕	Undetermined Manhole
•	Bollard	⊕	Sanitary Sewer Cleanout
⊕	Curb Inlet or Area Inlet	⊕	Sanitary Sewer Manhole
⊕	Fire Hydrant	⊕	Sign
⊕	Handicap Parking	*	Light Pole
⊕	Electric Cabinet	⊕	Power Pole
		⊕	Water Valve
		⊕	Electric Meter

Utility Information

Please call Kansas One-Call before digging. 1-800-DIG-SAFE
One call ticket number 20477311, dated 10-1-20.

Flood Note

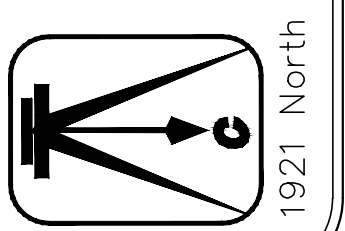
This property is not in a Special Flood Hazard Zone according to Flood Insurance Rate Map, Community Number 20103C0225G, effective date 7-16-2015.



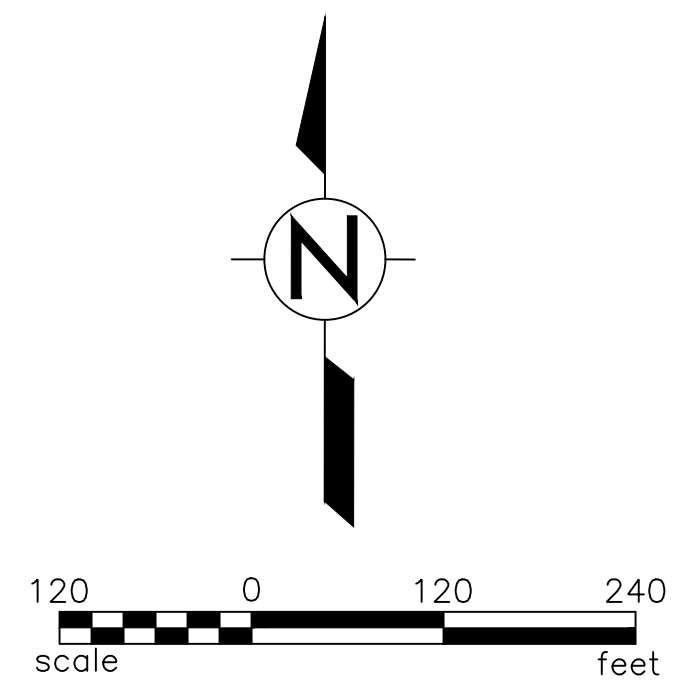
ALTA/NSPS LAND TITLE SURVEY
of a portion of SECTION 26, TOWNSHIP 10 SOUTH,
RANGE 21 EAST of the 6th PRINCIPAL MERIDIAN,
LEAVENWORTH COUNTY, KANSAS

PREPARED FOR:
TODAY'S POWER, INC.

CORNERSTONE
 Regional Surveying, LLC
 Serving Kansas, Missouri & Oklahoma
 1921 North Penn, Independence, KS 67301 Ph: 620-331-6767



CIVIL & STRUCTURAL CONSTRUCTION PLAN SET FOR STRANGER SOLAR AT LEAVENWORTH COUNTY ROAD 5 TONGANOXIE, KANSAS 66086



LEGAL DESCRIPTION:

A TRACT OF LAND IN THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 10 SOUTH, RANGE 21 EAST OF THE SIXTH P.M. LEAVENWORTH COUNTY, KANSAS, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 26: THENCE NORTH 01°47'28" WEST, ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, 1475.07 FEET TO THE DESCRIBED CENTERLINE OF OLD LEAVENWORTH-LAWRENCE ROAD; THENCE NORTH 49°21'47" EAST, ALONG SAID CENTERLINE, 426.11 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 49°21'47" EAST, ALONG SAID CENTERLINE, 29.91 FEET; THENCE NORTH 47°13'41" EAST, ALONG SAID CENTERLINE, 616.78 FEET TO THE SOUTHWESTERLY CORNER OF LOT 5, VOELKER FAMILY FARM SUBDIVISION; THENCE SOUTH 56°35'39" EAST, ALONG THE SOUTHWESTERLY SIDE OF SAID LOT 5, 328.84 FEET TO THE SOUTHEASTERLY CORNER THEREOF; THENCE SOUTH 33°26'09" WEST, ALONG THE APPARENT RIGHT-OF-WAY OF LEAVENWORTH COUNTY ROAD NO. 5, 289.41 FEET; THENCE ALONG SAID APPARENT RIGHT-OF-WAY, ON A CURVE TO THE RIGHT HAVING A RADIUS OF 2814.90 FEET, A CHORD BEARING OF SOUTH 39°02'30" WEST AND A CHORD LENGTH OF 552.62 FEET FOR AN ARC DISTANCE OF 553.51 FEET; THENCE NORTH 30°23'05" WEST, 479.28 FEET TO THE POINT OF BEGINNING, CONTAINING 6.972 ACRES, MORE OR LESS.

BENCHMARK:

VERTICAL DATUM: LVCO CP 401. ALUMINUM CAP NAVD 88 ELEV. 907.70

BASIS OF BEARING:

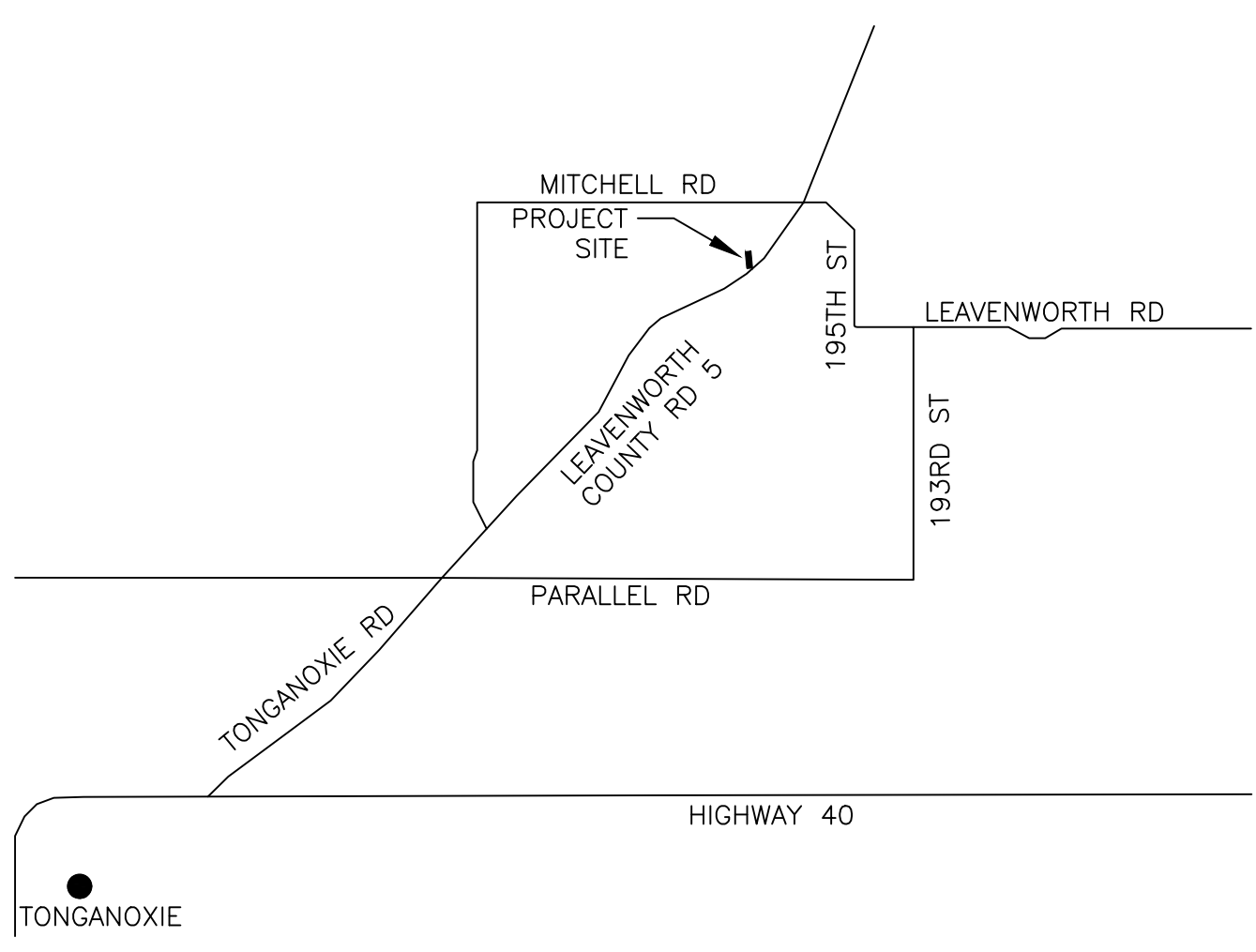
BEARINGS ARE BASED UPON THE KANSAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C01.01	COVER SHEET
C02.01	GENERAL NOTES
C03.01	EXISTING CONDITIONS
C04.01	CIVIL SITE PLAN
C05.01	EROSION CONTROL PLAN
C06.01	GRADING PLAN
C07.01	FOUNDATION PLAN
C08.01	ROAD & FENCE DETAILS
C08.02	ENTRANCE DETAIL
C08.03	BMP DETAILS 1
C08.04	BMP DETAILS 2
C08.05	STRUCTURAL DETAILS

LEGEND

- RIGHT OF WAY LINE
- SECTION LINE
- PROJECT BOUNDARY
- ACCESS ROAD
- EASEMENT
- CHAIN LINK FENCE
- ARRAY FOOTPRINT
- 5510----- EXISTING MAJOR CONTOUR
- 5508----- EXISTING MINOR CONTOUR



VICINITY MAP
N.T.S

PROJECT DEVELOPER

TODAY'S POWER INC.
7300 INDUSTRY DRIVE
LITTLE ROCK, AR 72117

VICE PRESIDENT OPERATIONS:
MATT IRVING
(501) 920-1370
MIRVING@TODAYSPOWER.COM

CIVIL ENGINEER

AZTEC ENGINEERING GROUP, INC.
501 N. 44TH STREET,
SUITE 300
PHOENIX, AZ 85008
(602) 454-0402

LICENSED ENGINEER:
SARAH A. SMEDLEY
KS PE # 27903

GEOTECHNICAL

ATC GROUP SERVICES LLC
3144 STAGE POST DRIVE,
SUITE 112
BARTLETT, TN 38133
(901) 259-2362

LICENSED ENGINEER
DAVID A. SCHMIDT
KS PE # 21620

LAND SURVEYOR

CORNERSTONE REGIONAL SURVEYING, LLC
1921 NORTH PENN
INDEPENDENCE, KANSAS 67301
(620) 331-6767

PROFESSIONAL LAND SURVEYOR
RODNEY R. ZINN
LS # 1559

ENGINEER
AZTEC TYPSA

DEVELOPER
Today's Power

CONTRACTOR

Sarah A. Smedley
SARAH A. SMEDLEY
LICENSED ENGINEER
27903
KANSAS
PROFESSIONAL ENGINEER
12/18/2020

REV	DATE	DESCRIPTION	ISSUED FOR CONSTRUCTION		REVISED					
			DRW	CK	APV	DRW	CK	APV		
0	12/18/20									

SCALE: 1"=120'
SIZE: 22"x34"
PROJECT#: AZENE2043-06

PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
COVER SHEET

SHEET	REV
C01.01	0



Dec 17, 2020 - 3:40pm

CKfile

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Dec 17, 2020 - 3:40pm

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\\aztec.us\public\Phoenix\Projects\azeme2043-msa-kingfield-portfolio\06-stranger\CADD\C02.00 STRANGER GENERAL NOTES ROD.dwg

GENERAL NOTES

- 1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE INDICATED, STATE AND/OR LOCAL STANDARD SPECIFICATIONS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AGAINST THE PROVIDED SURVEY INCLUDING THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR THE LOCATION OF EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
7. CONSTRUCTION SHALL NOT OCCUR IN ANY PUBLIC RIGHTS OF WAY, PUBLIC OR PRIVATE EASEMENTS, BEYOND THE LIMITS OF DISTURBANCE, OR OUTSIDE THE PROPERTY LIMITS WITHOUT A PERMIT.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY. OVERNIGHT PARKING OF CONSTRUCTION VEHICLES ON PRIVATE PROPERTY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION.
10. ALL PROPERTY MARKERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL DISTURBED PROPERTY MARKERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT PRIOR TO THE START OF THE PROJECT CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE AGENCIES RESPONSIBLE FOR AIR, NOISE, AND WATER QUALITY CONTROL REGULATIONS TO DETERMINE THE STANDARDS WHICH SHALL ADHERE DURING CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL OBTAIN, PREPARE, SUBMIT ALL FORMS, APPLICATIONS PERMITS, AND/OR PLANS REQUIRED TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS CONTROLLING POLLUTION OF THE ENVIRONMENT. THE CONTRACTOR SHALL ALSO MODIFY ALL PLANS, PERMITS, FORMS, APPLICATIONS AS REQUIRED, AS SITE CONDITIONS CHANGE TO STAY IN COMPLIANCE WITH THESE LAWS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RECORD KEEPING AND/OR INSPECTIONS ASSOCIATED WITH THESE LAWS AND REGULATIONS. THE CONTRACTOR SHALL PROVIDE THE OWNER ONE ADDITIONAL COPY OF EACH REQUIRED PLAN, SUBMITTED FORM OR APPLICATION, AND PLAN UPDATE AS THEY ARE SUBMITTED. THE CONTRACTOR SHALL ALSO MODIFY THE "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP) AS REQUIRED. PERFORMANCE OF THESE RESPONSIBILITIES ARE INCIDENTAL TO CONSTRUCTION OF THE PROJECT AND NO SEPARATE PAYMENT WILL BE MADE.
12. BEFORE COMMENCING CONSTRUCTION, CONTRACTOR SHALL LOCATE, POTHOLE AND MEASURE DEPTH TO TOP OF ALL EXISTING, UNDERGROUND WET & DRY UTILITIES AT PROPOSED CROSSING LOCATIONS, ACCORDING TO THE CONTRACT DOCUMENTS OR AS SPECIFIED BY THE UTILITY OWNER. CONTRACTOR SHALL PROVIDE ENGINEER AND OWNER WITH AN "AS-BUILT" PLAN OF ALL INFORMATION, AND RECEIVE FORMAL APPROVAL BEFORE STARTING WORK.
13. CONTRACTOR TO ENSURE ALL WORK PERFORMED IS IN ACCORDANCE WITH EXISTING PROJECT PERMITS, STUDIES AND REPORTS PROVIDED IN THE CONTRACT DOCUMENTS.
14. CONTRACTOR SHALL DETERMINE THE SOURCE OF AND SECURE APPROVAL OF CONSTRUCTION WATER AS NECESSARY TO COMPLETE THE PROJECT.

QUANTITIES

- FENCED AREA = 5.29 ACRES
AREA OF DISTURBANCE = 0.60 ACRES
VOLUME OF AGGREGATE BASE = 90 C.Y.
LINEAR DISTANCE OF ACCESS ROADS = 198 FEET
LENGTH OF FENCE = 1,935 FEET
NUMBER OF GATES = 1 DRIVE
VEHICLE TRACKING CONTROL (VTC) = 15 C.Y.
CONCRETE WASHOUT AREA (CWA) = 1 EA
LENGTH OF SILT FENCE = 914 LF
LENGTH OF STRAW WATTLES = 558 LF

EARTHWORK

- CUT: 194 C.Y.
FILL: 93 C.Y.
NET: 101 C.Y. (CUT)

SITE PREPARATION AND GRADING NOTES:

- 1. THE CONTRACTOR SHALL BE REQUIRED TO CLEAR AND GRUB AREAS DESIGNATED ON THE PLANS. REMOVE ALL TREES, STUMPS, BRUSH, AND DEBRIS WITHIN PROJECT AREAS INCLUDING THE ARRAYS, TRAILER/PARKING AREA, EQUIPMENT/SUBSTATION AREA, AND ROADWAY AREAS. ALL EXCAVATIONS DUE TO CLEARING AND GRUBBING ACTIVITIES SHOULD BE BACKFILLED WITH COMPACTED ENGINEERED FILL.
2. THE CONTRACTOR SHALL PRESERVE OTHER EXISTING VEGETATION TO BE SAVED TO THE MAXIMUM EXTENT PRACTICABLE. ANY VEGETATION THAT IS REMOVED SHALL ONLY BE ALLOWED WITHIN THE PROJECT BOUNDARY. THE CONTRACTOR IS TO REMOVE ONLY THAT VEGETATION WHICH SHALL BE DESIGNATED BY THE OWNERS REPRESENTATIVE FOR REMOVAL, AND SHALL EXERCISE CARE AROUND EXISTING VEGETATION TO BE SAVED. CONSTRUCTION FENCING MAY BE INSTALLED TO PROTECT AREAS THAT ARE NOT TO BE DISTURBED.
3. STRIP AND REMOVE EXISTING VEGETATION AND OTHER DELETERIOUS MATERIALS FROM ALL ROADWAY, AREAS OF FILL, PARKING AND TRAILER AREAS THROUGH THE ROOT ZONE. TOPSOIL SHALL NOT BE STRIPPED OUTSIDE OF THE DESIGNATED CLEARING AND GRUBBING AREAS. STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS SHOULD BE WASTED FROM THE SITE OR USED TO REVEGETATE LANDSCAPED AREAS OR EXPOSED SLOPES AFTER COMPLETION OF GRADING OPERATIONS. IF IT IS NECESSARY TO DISPOSE OF ORGANIC MATERIALS ON-SITE THEY SHOULD BE PLACED IN NON-STRUCTURAL AREAS.
4. EMBANKMENT CONSTRUCTION SHALL CONSIST OF THE PLACING OF ENGINEERED FILL MATERIAL, AFTER TOPSOIL STRIPPING, ABOVE THE EXISTING GRADE. GENERALLY, EMBANKMENTS SHALL HAVE COMPACTED SUPPORT SLOPES OF FOUR FEET HORIZONTAL TO ONE FOOT VERTICAL OR AS IDENTIFIED ON THE GRADING PLANS. THE MATERIAL FOR EMBANKMENT CONSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. THIS MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12".
5. ALL SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GRADING SHOWN ON THE PLANS.
6. EXPOSED SURFACES SHOULD BE FREE OF MOUNDS AND DEPRESSIONS WHICH COULD PREVENT UNIFORM COMPACTION.
7. NO BURNING OF DEBRIS IS ALLOWED WITHOUT THE NECESSARY PERMITS FROM AUTHORITIES HAVING JURISDICTION (AHJ) AND APPROVAL BY THE OWNER.
8. EXPOSED AREAS WHICH WILL RECEIVE STRUCTURAL FILL, ONCE PROPERLY CLEARED, SHOULD BE INSPECTED BY GEOTECHNICAL ENGINEER OR AUTHORIZED REPRESENTATIVE TO ENSURE THE NATIVE SOIL IS FREE OF GROUNDWATER, ORGANICS, SOFT/LOOSE SOIL, DEBRIS (FILL), LOOSE ROCK OR SOIL CLODS GREATER THAN 3 INCHES IN MAXIMUM DIMENSION, AND OTHER DELETERIOUS MATERIALS.
9. PRIOR TO PLACING FILL, SURFACE COMPACT SUBGRADE USING A VIBRATORY SMOOTH-DRUM ROLLER OR WALK-BEHIND PLATE COMPACTOR. SUBGRADE SHALL BE MOISTURE CONDITIONED AS NEEDED AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698) TO A DEPTH OF 1 FOOT.
10. WITHIN PV ARRAY FILL AREAS, UNSUITABLE SUBGRADE MUST BE OVER-EXCAVATED AND REPLACED WITH SUITABLE ENGINEERED FILL OR NATIVE GRANULAR SOIL.
11. MINIMUM DEPTH OF OVER-EXCAVATION SHOULD EXTEND TO THE DEPTH OF THE UNSUITABLE SUBGRADE MATERIAL ENCOUNTERED.
12. THE OVER-EXCAVATION SHOULD BE BACKFILLED UP TO THE REQUIRED ELEVATION PER GRADING PLANS WITH SUITABLE ENGINEERED FILL OR NATIVE GRANULAR SOIL, PLACED IN 12 INCH LOOSE LIFTS. BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AND BETWEEN -3% AND +3% OF OPTIMUM MOISTURE CONTENT, AS DETERMINED BY THE STANDARD PROCTOR MAXIMUM DRY DENSITY TEST (ASTM D628).
13. THE MOISTURE CONTENT AND COMPACTION OF SUBGRADE SOILS SHOULD BE MAINTAINED UNTIL FILL PLACEMENT.
14. ONSITE SOILS OR APPROVED IMPORTED MATERIAL MAY BE USED AS SUBGRADE MATERIAL FOR SITE GRADING.
15. ENGINEERED FILL SHALL CONSIST OF GRANULAR SOIL WITH LESS THAN 10% PASSING THE NO. 200 SIEVE. CLAYEY SAND, LEAN CLAY OR FAT CLAY SHOULD NOT BE USED FOR ENGINEERED FILL DUE TO MOISTURE SENSITIVITY. ONSITE SOIL MEETING THIS CRITERIA MAY BE USED AS ENGINEERED FILL PROVIDED THE MATERIAL IS FREE OF ORGANICS AND PARTICLES LARGER THAN 3 INCHES. SELECT IMPORTED GRANULAR FILL MAY BE USED AS ENGINEERED FILL PROVIDED THAT IT IS WELL GRADED AND CONTAINS NO CLAY BALLS, ROOTS, ORGANIC MATTER OR OTHER DELETERIOUS MATERIALS, AND MEETS THE AFOREMENTIONED SPECIFICATIONS.
16. ENGINEERED FILL SHOULD BE PLACED AND COMPACTED IN HORIZONTAL LIFTS, USING EQUIPMENT AND PROCEDURES THAT WILL PRODUCE RECOMMENDED MOISTURE CONTENTS AND DENSITIES THROUGHOUT THE LIFT. FILL LIFTS SHOULD NOT EXCEED 8 INCHES LOOSE THICKNESS. ENGINEERED FILL SHALL BE COMPACTED TO 90% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY WITH MOISTURE CONDITIONING RANGE OF -3% TO +3%.
17. TESTING AND INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW.

EROSION CONTROL NOTES:

- 1. SOIL AND WATER MANAGEMENT MEASURES SHALL BE USED DURING THE CONSTRUCTION OF THE PLANT TO MINIMIZE SOIL EROSION AND THE DISCHARGE OF SEDIMENT AND OTHER CONTAMINANTS INTO THE SOIL AND/OR WATERS.
2. ALL EROSION AND SEDIMENTATION CONTROL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE SWPPP AND CONSTRUCTED IN A MANNER CONSISTENT WITH STORM WATER MANAGEMENT.
3. ALL SUBCONTRACTORS SHALL BE INFORMED OF THEIR RESPONSIBILITIES TO REDUCE THE POTENTIAL FOR SOIL EROSION AND SEDIMENT CONTAMINATION.
4. THE TOP LAYER OF THE EXCAVATED SOIL WILL BE STORED SEPARATELY FROM THE SUBSOIL AND WILL BE REPLACED SUCH THAT IT WILL REPLICATE THE ORIGINAL PROFILE AS CLOSELY AS POSSIBLE TO ASSIST IN RAPID RE-VEGETATION.
5. SITE STABILIZATION, REHABILITATION AND RE-VEGETATION WILL BE CARRIED OUT PROGRESSIVELY DURING THE OPERATION TO ENSURE THAT THE SOILS STABILIZE AS SOON AS POSSIBLE. THIS WILL MINIMIZE THE INFESTATION OF WEEDS, SEDIMENTATION, AND EROSION, WHICH DEGRADE THE HABITAT.
6. ALTERED AREAS WILL BE IDENTIFIED AND USED PREFERABLY FOR ACCESS TO VEHICLES AND MACHINERY, STORAGE OF MATERIALS, AND STORAGE OF CLEAN VEGETATION.
7. WHEN DITCHES ARE TO BE DUG AND FILLED IN AREAS WITH GOOD VEGETATION, THE ORGANIC MATTER SHOULD BE REMOVED AND STORED IN WET, SHADED CONDITIONS AND REPLACED WITH THE PROGRESS OF THE WORK. THE STORAGE TIME SHOULD BE MINIMIZED SUCH THAT RESTORATION OR THE SOIL IS MAXIMIZED.
8. EXCESS VEGETATION SHALL BE MAINTAINED AND USED FOR THE REHABILITATION OF THE SITE.
9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AND MODIFIED AS NECESSARY THROUGHOUT THE COURSE OF THE PROJECT IN ORDER TO MINIMIZE SOIL AND WATER IMPACTS. ANY DISCHARGES FROM THE SITE SHALL BE MANAGED TO ENSURE THAT THE WATER QUALITY CRITERIA ARE MET ACCORDING TO THE APPLICABLE REGULATIONS.
10. A WATER TRUCK SHALL BE USED ROUTINELY TO WET ALL ACCESS ROADS, STOCK PILED DIRT, AND DISTURBED AREAS AS APPROPRIATE TO CONTROL DUST AND PREVENT SOIL LOSS.
11. ENVIRONMENTALLY ACCEPTABLE STABILIZATION AND/OR DUST MITIGATION TECHNIQUES SHALL BE USED IF SURFACE WETTING PROVES TO BE INEFFECTIVE.
12. EXCESS SUBSOIL SHALL BE SPREAD ONSITE.
13. TEMPORARY STABILIZATION SHOULD BE CARRIED OUT IN ALTERED AREAS WHICH ARE LIKELY TO REMAIN UNATTENDED FOR MORE THAN 30 DAYS DURING CONSTRUCTION.
14. AFTER COMPLETION OF CONSTRUCTION, PERMANENT REHABILITATION IN DISTURBED AREAS SHALL BE COMPLETED AS SOON AS POSSIBLE IN ACCORDANCE WITH THE FOLLOWING:
a. THE CONTRACTOR MUST IMPLEMENT RE-VEGETATION AND REHABILITATION FOR ALL AREAS WITHIN THE SITE FOOTPRINT THAT ARE DISTURBED DURING CONSTRUCTION, EXCEPT FOR AREAS OF CONTINUOUS OPERATION.
b. THE CONTRACTOR SHALL ENSURE THAT ALL RE-VEGETATION MEASURES ARE PROGRESSIVELY IMPLEMENTED WHERE POSSIBLE AND IN ALL CASES WITHIN SIX MONTHS AFTER CESSATION OF CONSTRUCTION ACTIVITIES.
c. UNLESS OTHERWISE AGREED BY THE OWNER, THE CONTRACTOR MUST MONITOR AND MAINTAIN THE HEALTH OF ALL RE-VEGETATED AREAS UNTIL THE PLANTATIONS HAVE BEEN VERIFIED BY AN INDEPENDENT EXPERT WHOSE APPOINTMENT HAS BEEN ACCEPTED BY THE DIRECTOR GENERAL.
15. ANY FUEL OR CHEMICAL STORED ON SITE MUST BE IN ACCORDANCE WITH THE ENVIRONMENTAL AWARENESS OF WORKERS AND CATEC COMPLIANCE TRAINING AND APPLICABLE STANDARDS ACCORDING TO THE FOLLOWING TOPICS:
a. THE STORAGE AND HANDLING OF FLAMMABLE AND COMBUSTIBLE LIQUIDS, CORROSIVE SUBSTANCES, TOXIC SUBSTANCES, AND LIQUIDS.
b. ENVIRONMENTAL COMPLIANCE REPORT: ADMINISTRATION, STORAGE, HANDLING AND SPILLAGE OF CHEMICAL LIQUIDS.
16. A COMPACTED GRAVEL ACCESS ROAD WILL BE CONSTRUCTED TO THE ENTRANCE OF THE STABILIZED SITE IN ORDER TO AVOID DUST GENERATION IN THE LOCATION SHOWN IN THE ATTACHED PLANS.
17. STOCKPILES WILL BE CONSTRUCTED IN ACCORDANCE WITH STORM WATER MANAGEMENT AND INDUSTRY BEST PRACTICES. ALL STOCKPILES WILL BE DELINEATED WITH SEDIMENT FENCES.
18. SEPARATE STOCKPILES SHOULD BE USED FOR THE TOPSOIL AND SUBSOIL (IF APPLICABLE). THE STRUCTURES FOR THE DIVERSION OF RAINWATER WILL BE INSTALLED UPHILL FROM THE STORAGE LOCATION AS NECESSARY. THE DIVERSION STRUCTURES WILL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE STORM WATER MANAGEMENT PLAN (SWPPP).
19. SILT FENCES OR OTHER APPROPRIATE EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED ON THE DOWNWARD SIDE OF THE PILES. STORM WATER DRAINS ON AN UPWARD SLOPE WILL BE INSTALLED AS NEEDED.
20. CLEARLY VISIBLE "SILT FENCE" GEOTEXTILE BARRIERS OR APPROPRIATE ZONE MARKERS WILL BE INSTALLED AS SHOWN IN THE PLANS, AND IN ANY OTHER PLACE WITHIN THE SOLAR PLANT AT THE DISCRETION OF THE CONTRACTOR (IN CONSULTATION WITH THE ENVIRONMENTAL ADVISOR), TO ENSURE TRAFFIC CONTROL AND RESTRICT UNNECESSARY ALTERATIONS TO THE SITE.
21. THE LENGTH OF THE SLOPE IN THE ALTERED AREAS WILL BE KEPT AS SHORT AS NECESSARY TO MINIMIZE THE RISK OF SOIL LOSS. THE APPROPRIATE LENGTH OF THE SLOPE WILL BE REGULATED BY CONSTRUCTING TEMPORARY DIVERSION THROUGH ALTERED AREAS, BY USING SILT FENCES/STRAW WADDLES OR BERMS AS NEEDED OR BY USING ANOTHER APPROPRIATE EROSION AND SEDIMENT CONTROL DEVICE.
22. TEMPORARY DIVERSION DRAINS WILL BE COMPLETED AS REQUIRED AT THE END OF EACH WORKING DAY OR WHEN HEAVY RAIN IS IMMINENT. THESE WILL BE DESIGNED TO CONTROL STORM WATER RUNOFF, WHICH INCLUDES DIVERTING CLEAN RUNOFF FROM DISTURBED AREAS AS MUCH AS POSSIBLE.
23. THE MAINTENANCE OF EROSION AND SEDIMENT CONTROL STRUCTURES IS ESSENTIAL FOR ITS CONTINUOUS OPERATION. PROPER MAINTENANCE REDUCES THE POTENTIAL RISK OF SOIL EROSION AT THE SITE, AND THE CONSEQUENT CONTAMINATION OF THE SEDIMENTS TO THE DOWNHILL AREAS.
24. THE CONTRACTOR WILL REGULARLY MAINTAIN THE REHABILITATED AREAS DURING THE CONSTRUCTION PHASE (IN ACCORDANCE WITH THE REHABILITATION AND REVEGETATION MANAGEMENT PLAN). AT THE END OF THE CONSTRUCTION PHASE, THE REHABILITATED AREAS WILL BE MANAGED BY THE OWNER / OPERATOR IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN UNTIL SUCH TIME AS THE PLANTATION HAS BEEN VERIFIED BY AN INDEPENDENT AND ADEQUATELY QUALIFIED EXPERT.
25. THE REHABILITATION OF THE FINAL SITE WILL BE CARRIED OUT AS SOON AS POSSIBLE AFTER THE COMPLETION OF THE WORK.
26. TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES WILL BE REMOVED ONLY AFTER REHABILITATION WORK HAS BEEN COMPLETED IN MORE THAN 90% OF THE CATCHMENT CONTRIBUTION OR WHERE STABILIZATION OF THE SITE HAS ACHIEVED A STANDARD WHERE EROSION RISK IS ELIMINATED AS FAR AS POSSIBLE.
27. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN AN OPERATING CONDITION UNTIL ALL EARTHMOVING ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED AT THE LEVEL DESCRIBED IN SWPPP.

ENGINEER



DEVELOPER



CONTRACTOR

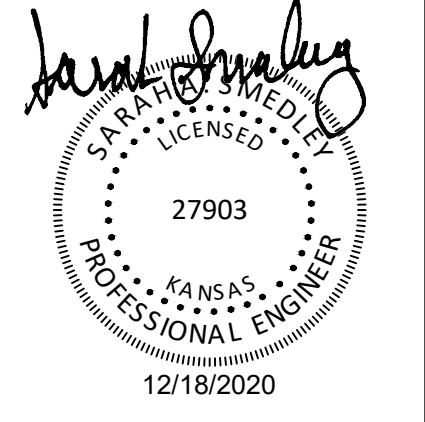


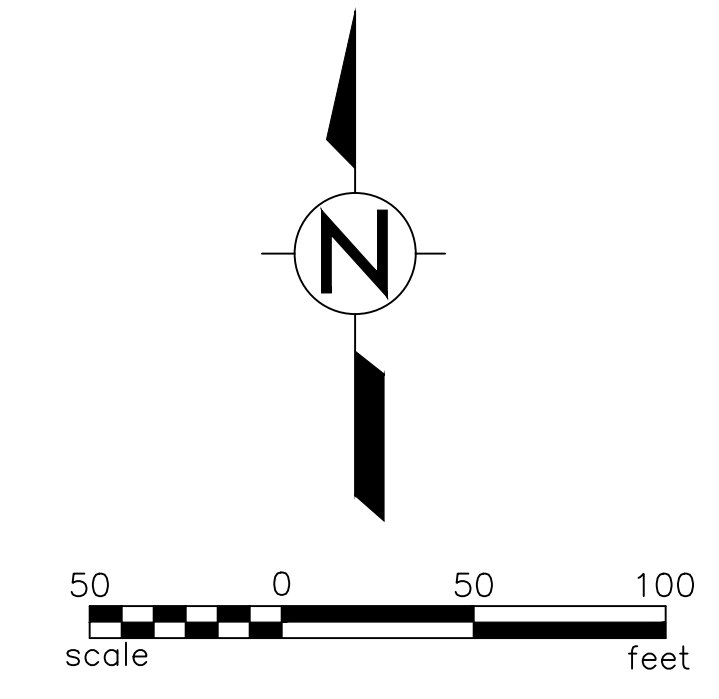
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SCALE: N/A
SIZE: 22"x34"
PROJECT#: AZENE2043-06

PROJECT: STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
TITLE: GENERAL NOTES

SHEET CO2.01 REV 0





ENGINEER
AZTEC TYP SA

DEVELOPER
Today's Power

CONTRACTOR

Sarah Smiley
 SA Sarah Smiley
 LICENSED
 27903
 KANSAS
 PROFESSIONAL ENGINEER
 12/18/2020

REV	DATE	DESCRIPTION	DRW	CK	APV
			CRK	MJS	SAS
0	12/18/20	ISSUED FOR CONSTRUCTION			

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 PROJECT#: AZENE2043-06

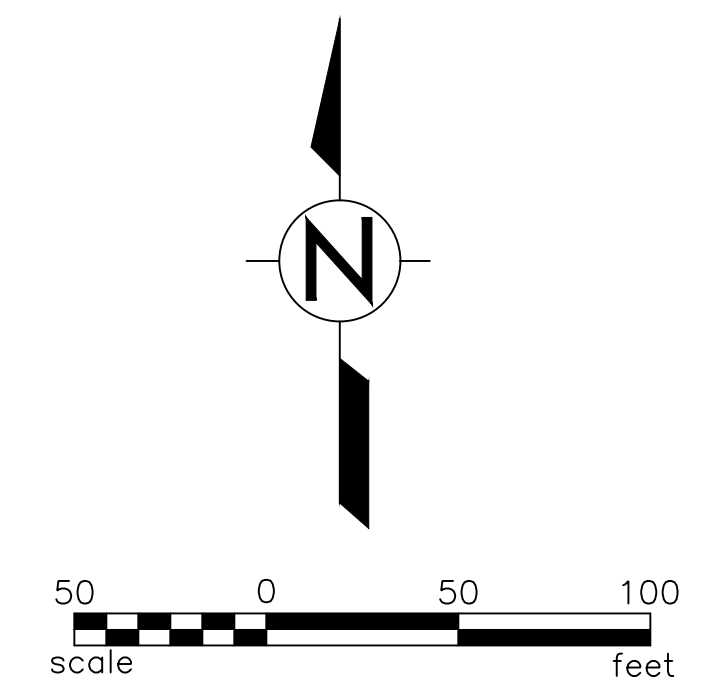
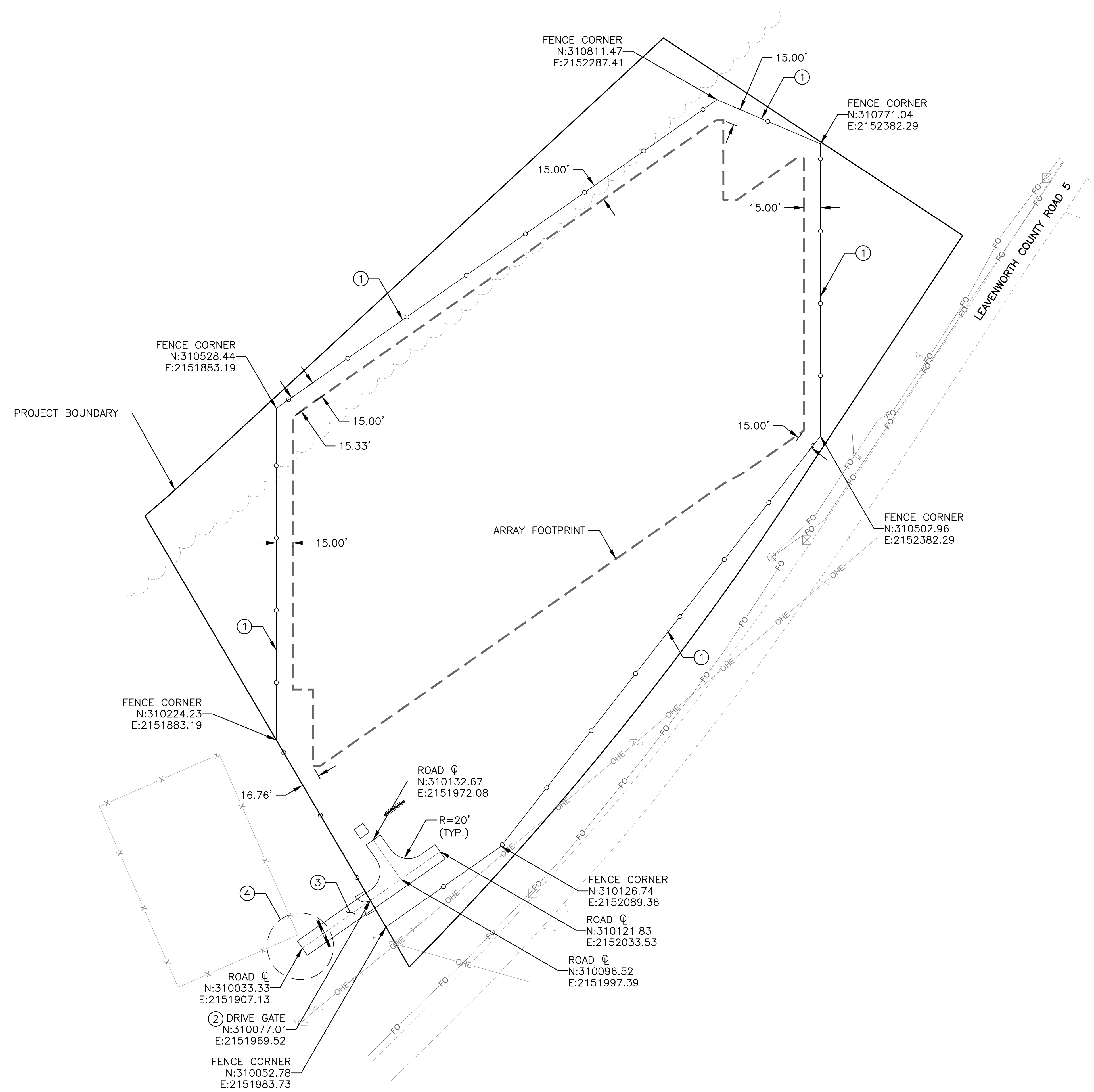
PROJECT
STRANGER SOLAR
 LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
 EXISTING CONDITIONS



SHEET
C03.01

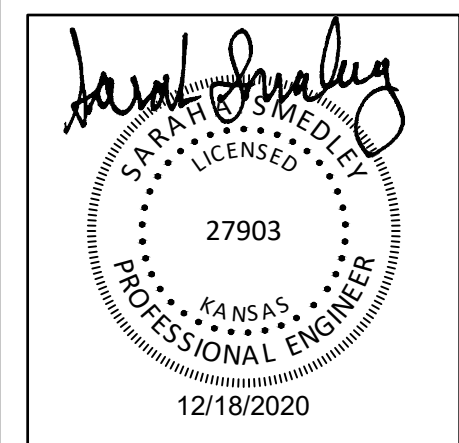
REV
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- CONSTRUCTION NOTES:**
- ① CONSTRUCT 7' CHAIN LINK FENCE PER DETAIL 1 ON SHEET C08.01
 - ② CONSTRUCT 20' WIDE DRIVE GATE PER DETAIL 2 ON SHEET C08.01
 - ③ CONSTRUCT 16' WIDE ACCESS ROAD PER DETAILS 3 & 4 ON SHEET C08.01
 - ④ CONSTRUCT ENTRANCE PER ENTRANCE DETAIL ON SHEET C08.02



CONTRACTOR

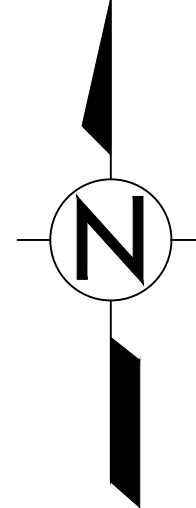
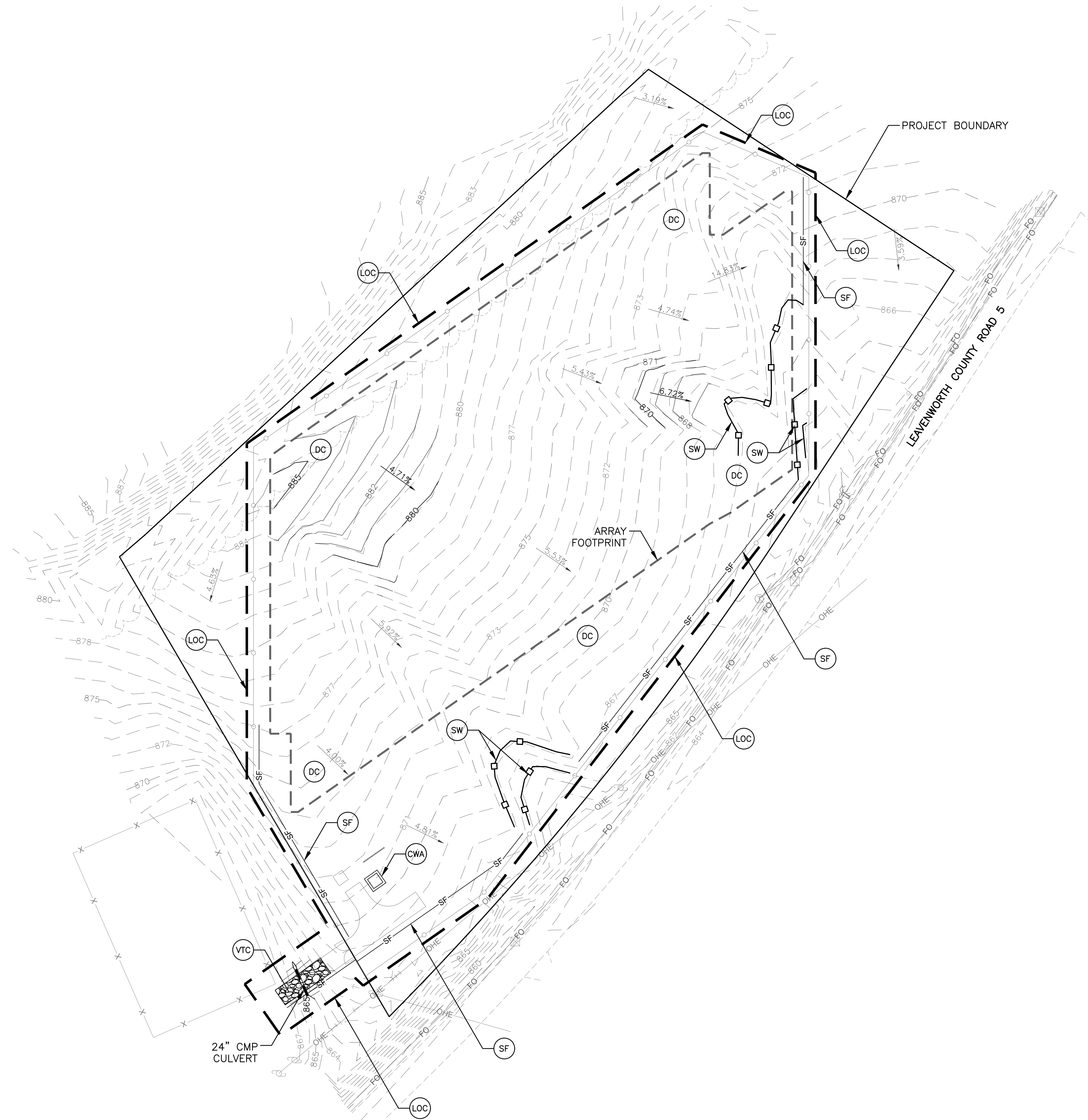


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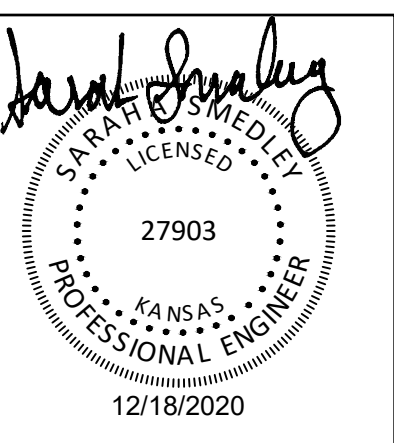
PROJECT	STRANGER SOLAR LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
TITLE	CIVIL SITE PLAN
SHEET	C04.01
REV	0





BMP LEGEND

- SF SILT FENCE PER DETAIL 1 ON SHEET C08.03
- VTC VEHICLE TRACKING CONTROL PER DETAIL 2 ON SHEET 8.03
- LOC LIMITS OF CONSTRUCTION
- CWA CONCRETE WASHOUT AREA PER DETAIL 3 ON SHEET 8.03
- SW STRAW WATTLES PER DETAIL 1 ON SHEET C08.04
- DC WIND EROSION/DUST CONTROL
- FLOW DIRECTION ARROW
- PROPOSED CULVERT
- 5510 EXISTING MAJOR CONTOUR
- 5510 EXISTING MINOR CONTOUR
- 5506 PROPOSED MAJOR CONTOUR
- 5504 PROPOSED MINOR CONTOUR



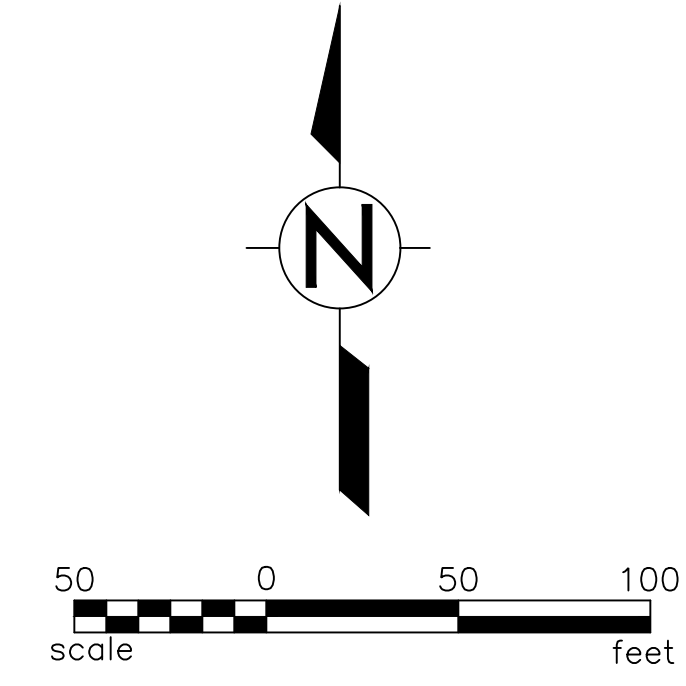
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0	12/18/20	ISSUED FOR CONSTRUCTION		

SCALE: 1"=50'
 SIZE: 22"x34"
 PROJECT#: AZENE2043-06

PROJECT: STRANGER SOLAR
 LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE: EROSION CONTROL PLAN





EARTHWORK LEGEND		
MIN ELEVATION	MAX ELEVATION	COLOR
-1.00	0.00	Red
0.00	1.00	Blue
1.00	2.00	Dark Blue
2.00	3.00	Very Dark Blue
3.00	4.00	Black

LEGEND	
--- 5510 ---	EXISTING MAJOR CONTOUR
--- 5508 ---	EXISTING MINOR CONTOUR
--- 5506 ---	PROPOSED MAJOR CONTOUR
--- 5504 ---	PROPOSED MINOR CONTOUR

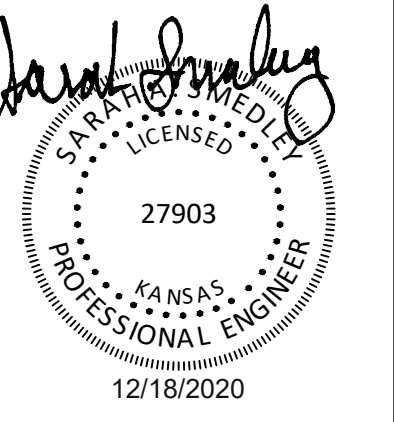
ENGINEER



DEVELOPER



CONTRACTOR



REV	DATE	DESCRIPTION	DRW	CK	APV
			CRK	MJS	SAS
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SCALE: 1"=50'

SIZE: 22"x34"

PROJECT#: AZENE2043-06

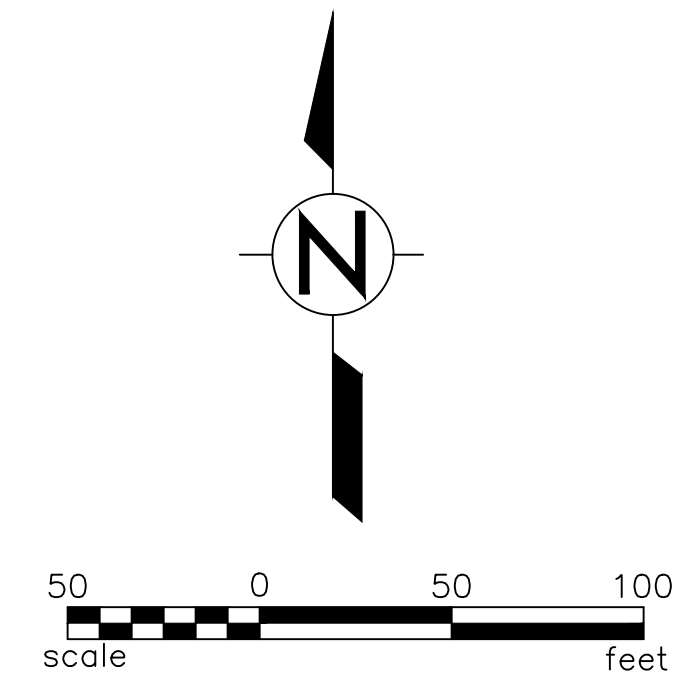
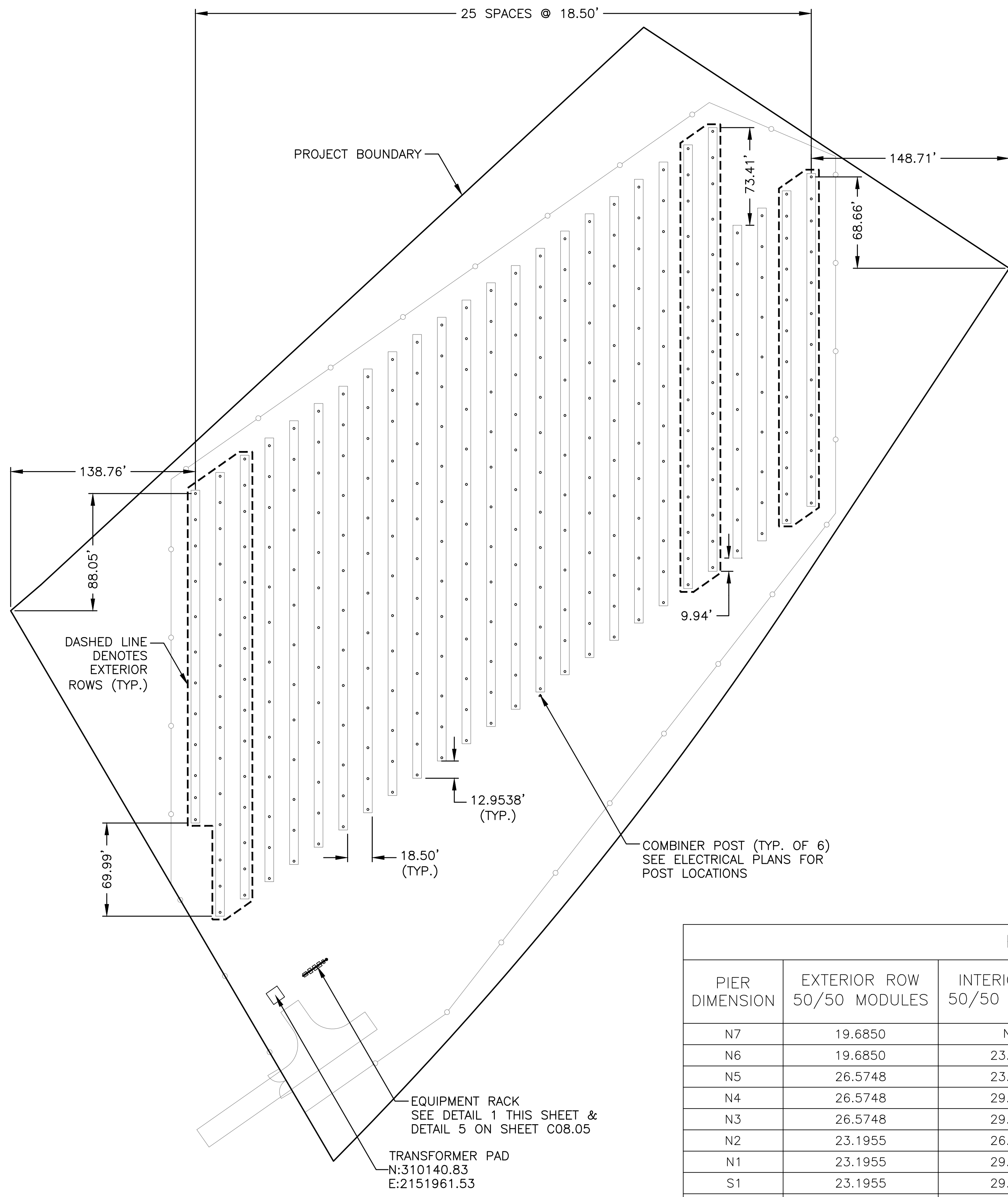
PROJECT
STRANGER SOLAR
 LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
GRADING PLAN

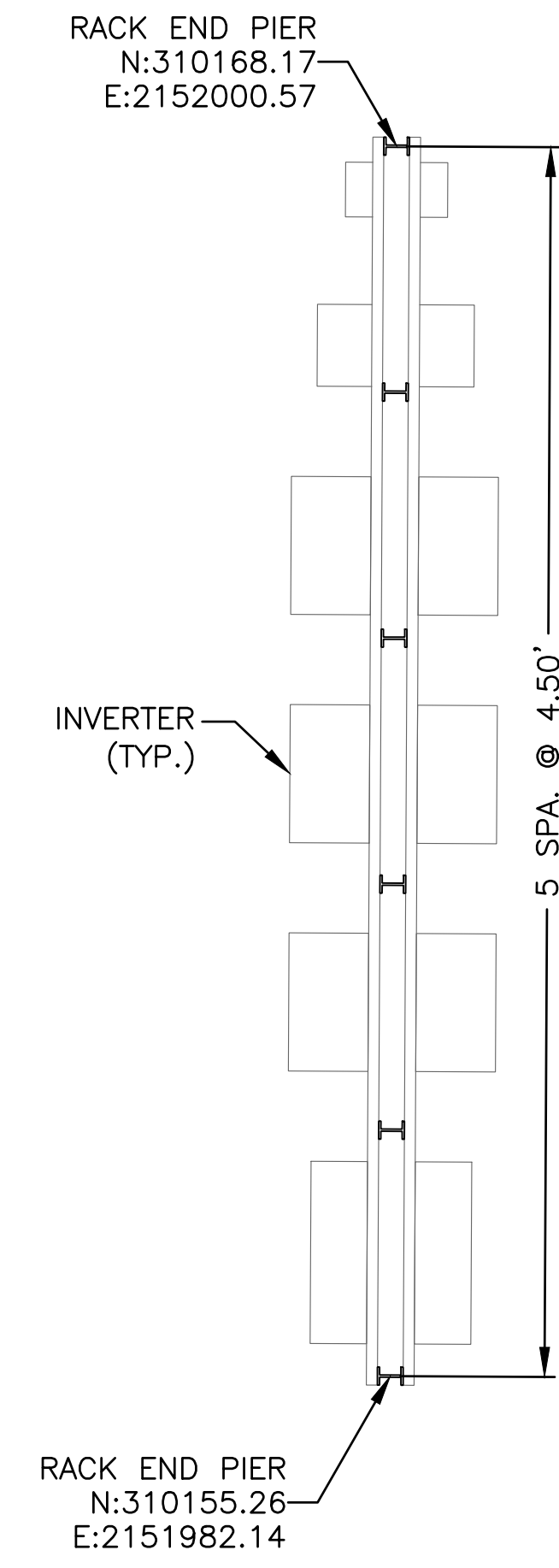
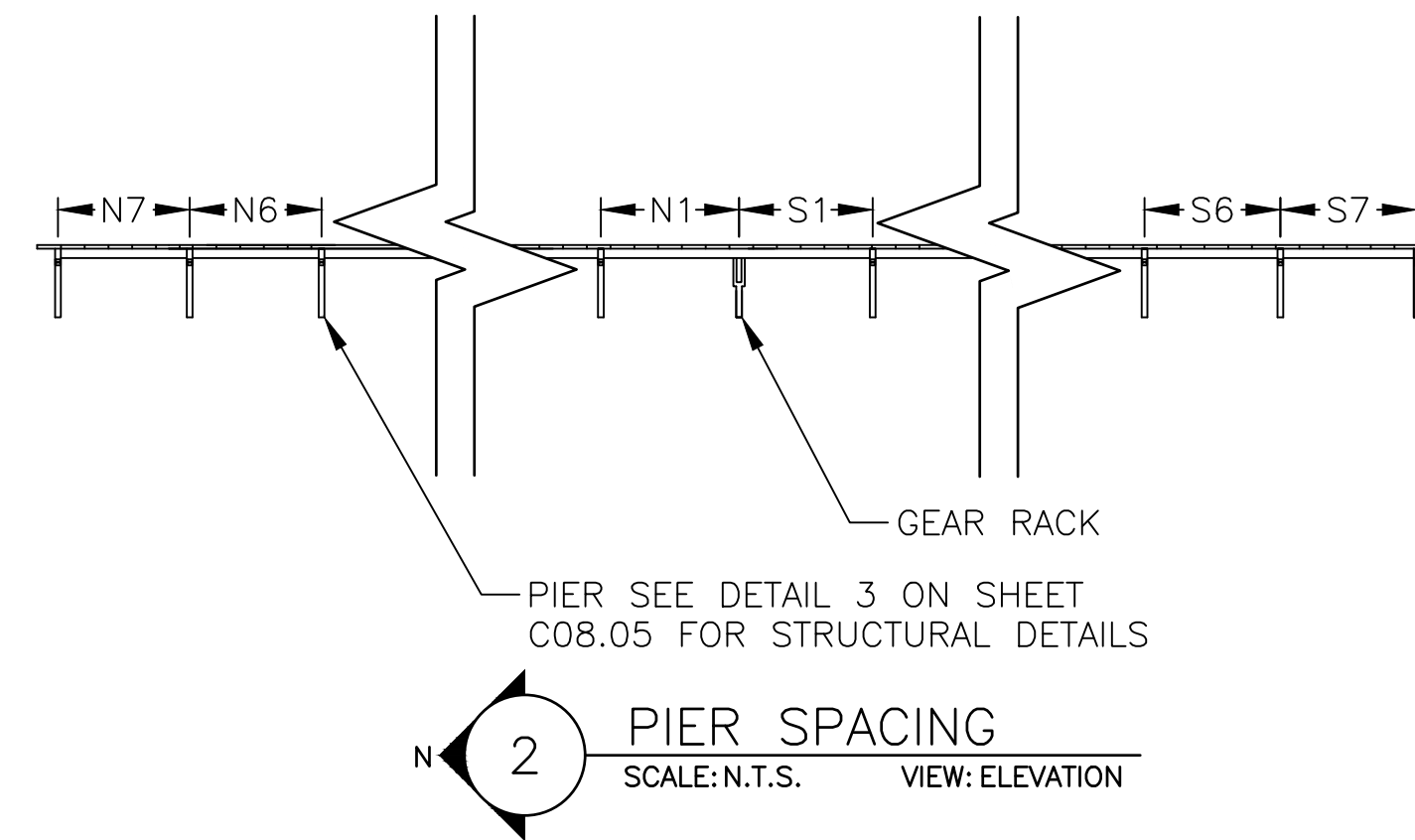
SHEET
C06.01

REV
0





- NOTES:**
1. REFERENCE ATI DRAWINGS FOR TRACKER SPECIFICATIONS.
 2. SEE SHEET C08.05 FOR EQUIPMENT POST AND EQUIPMENT PADS FOUNDATION DETAILS



PIER SPACING (IN FEET)					
PIER DIMENSION	EXTERIOR ROW 50/50 MODULES	INTERIOR ROW 50/50 MODULES	EXTERIOR ROW 25/50 MODULES	INTERIOR ROW 25/50 MODULES	EXTERIOR ROW 50/25 MODULES
N7	19.6850	N/A	N/A	N/A	19.6850
N6	19.6850	23.1955	N/A	N/A	19.6850
N5	26.5748	23.1955	N/A	N/A	26.5748
N4	26.5748	29.8556	16.5682	N/A	26.5748
N3	26.5748	29.8556	16.5682	23.1955	26.5748
N2	23.1955	26.5748	23.1955	23.1955	23.1955
N1	23.1955	29.8556	23.1955	29.8556	23.1955
S1	23.1955	29.8556	23.1955	29.8556	23.1955
S2	23.1955	26.5748	23.1955	26.5748	23.1955
S3	26.5748	29.8556	26.5748	29.8556	16.5682
S4	23.1955	29.8556	26.5748	29.8556	16.5682
S5	26.5748	23.1955	26.5748	23.1955	N/A
S6	19.6850	23.1955	19.6850	23.1955	N/A
S7	19.6850	N/A	19.6850	N/A	N/A

ENGINEER
AZTEC TYP SA
 DEVELOPER
 Today's Power
 CONTRACTOR

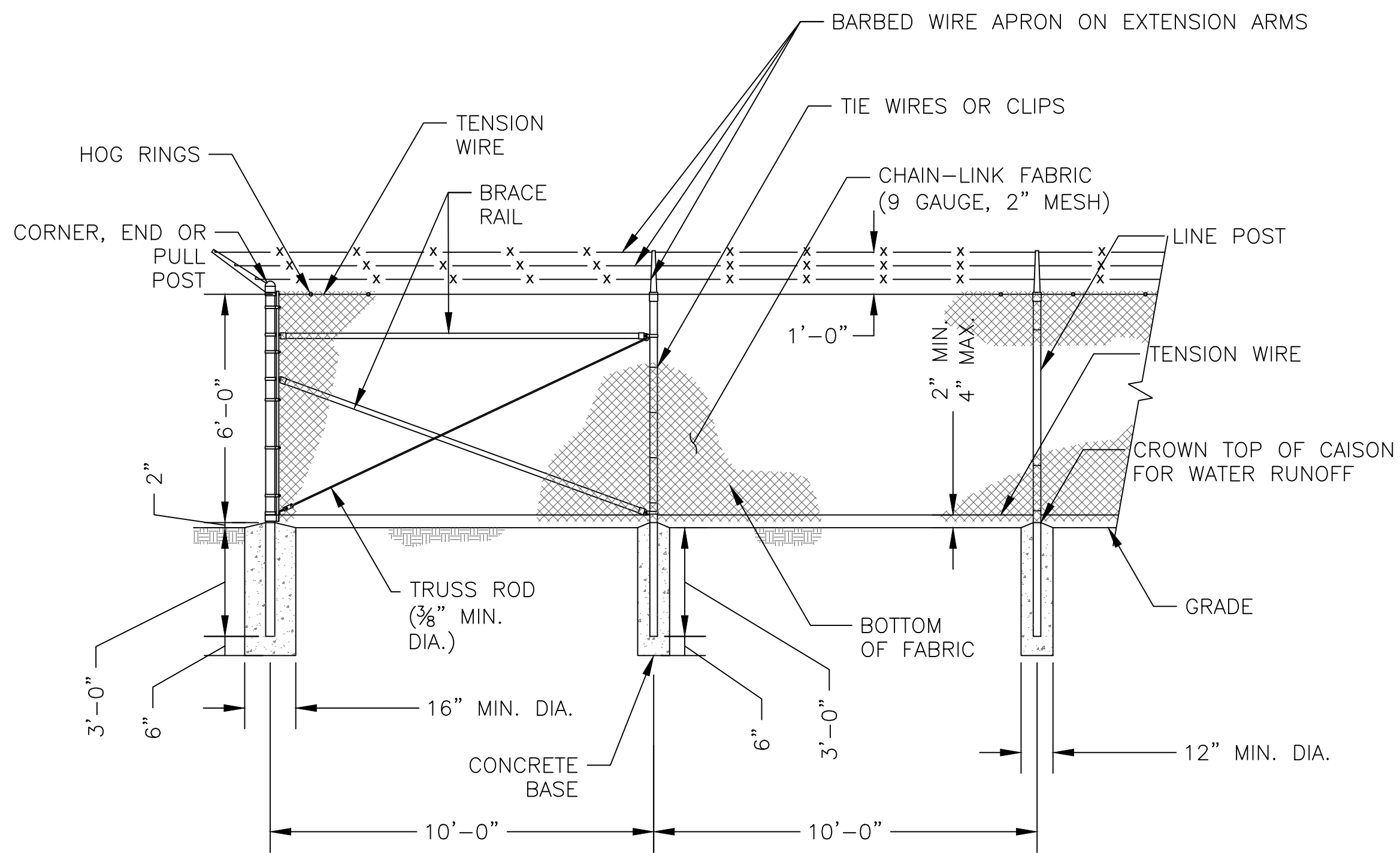
 REVISIONS

REV	DATE	DESCRIPTION	DRW	CK	APV
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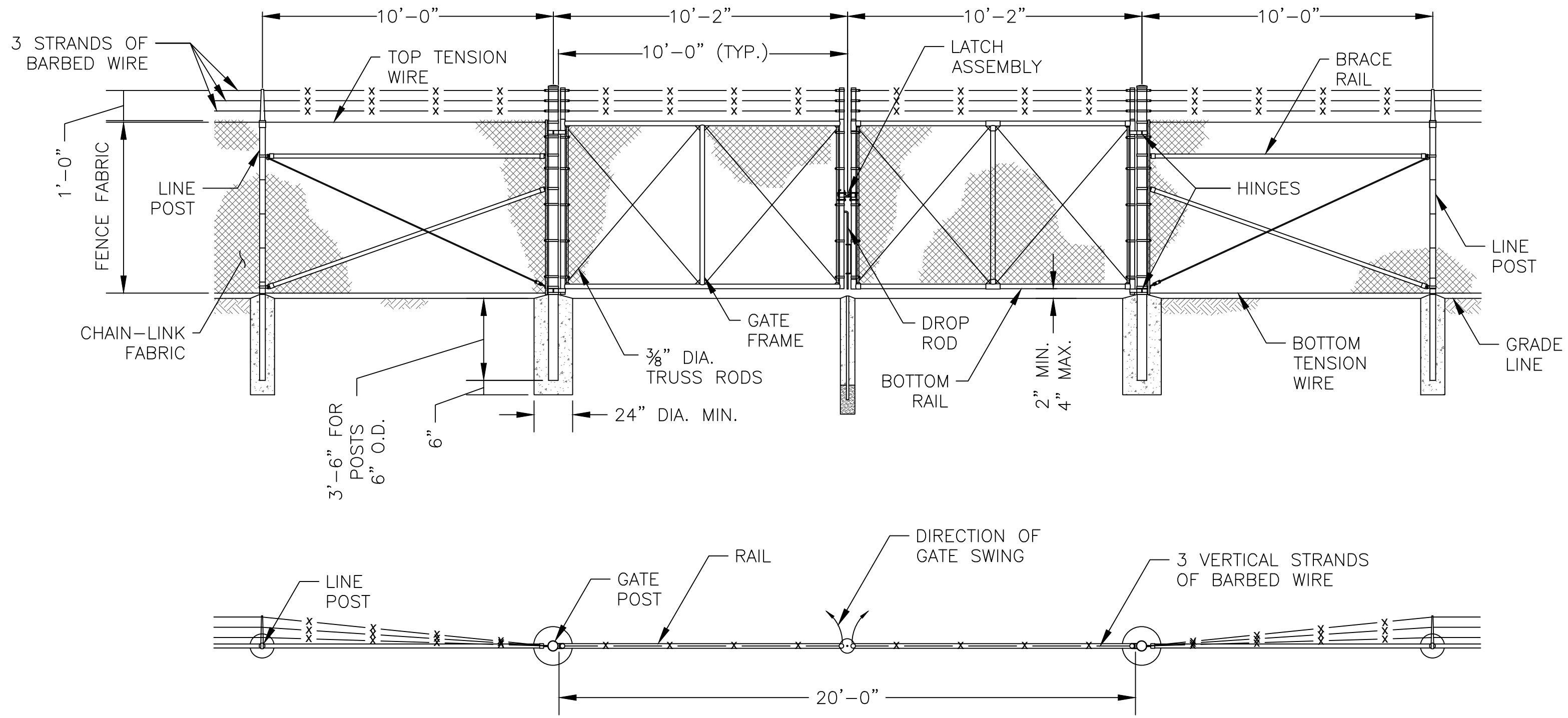
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 SIZE: 22"x34"
 PROJECT#: AZENE2043-06
 PROJECT: STRANGER SOLAR
 LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
 TITLE: FOUNDATION PLAN
 SHEET: C07.01
 REV: 0

Dec 17, 2020 - 3:41pm

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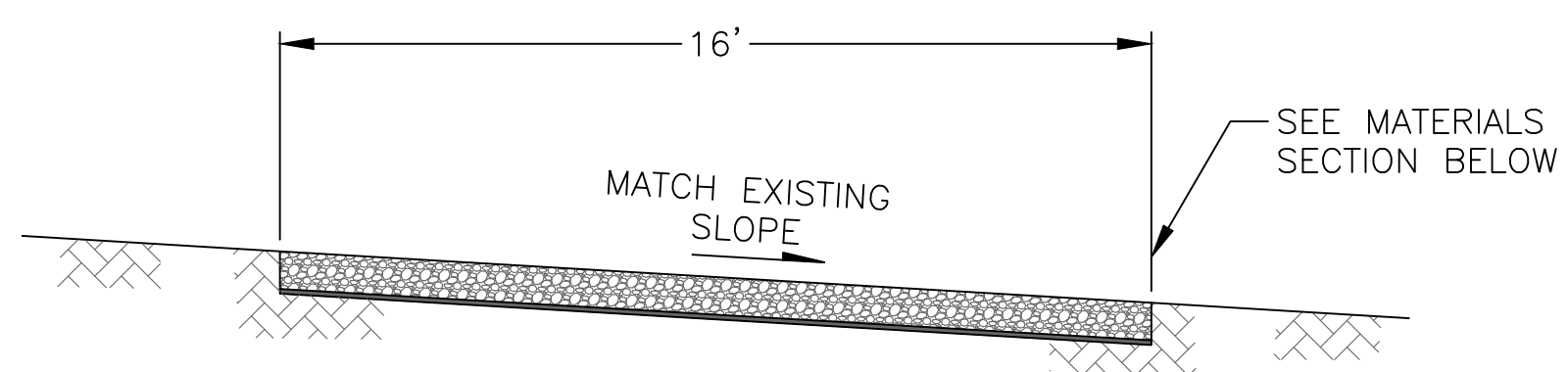
1 CHAIN-LINK FENCE
SCALE: N.T.S. VIEW: ELEVATION



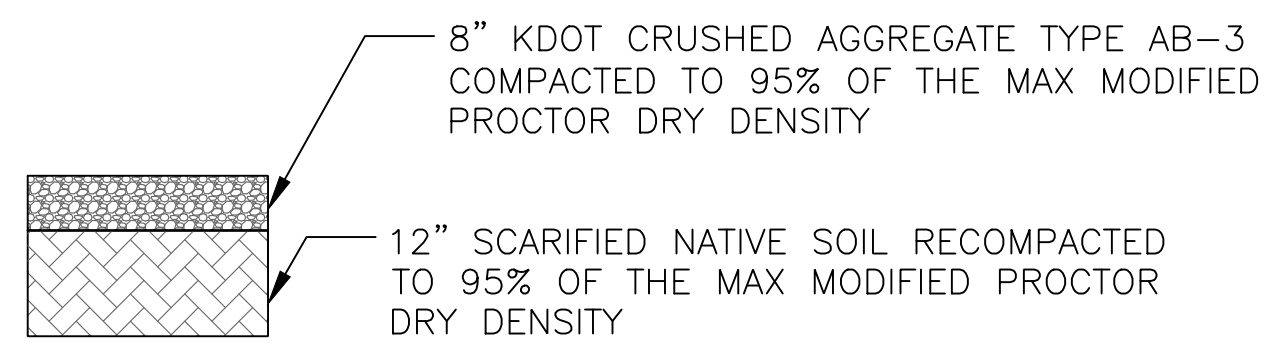
2 ACCESS GATE
SCALE: N.T.S. VIEW: PLAN & ELEVATION

GENERAL FENCING NOTES:

1. ALL STEEL OR MALLEABLE IRON PARTS AND ACCESSORIES SHALL BE HOT-DIP GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER FABRICATION.
2. FABRIC - 9 GAUGE, 2 INCH MESH; GALVANIZED ASTM A392, CLASS 1; TWISTED SELVAGE ON BOTTOM, AND ON TOP.
3. POSTS AND RAIL-STEEL PIPE, ASTM F1083 STANDARD WEIGHT (SCHEDULE 40), REGULAR GRADE (YIELD STRENGTH OF 30 KSI).
4. LINE POSTS- 2 INCH OD PIPE.
5. TERMINAL POSTS (END, CORNER, AND PULL)- 2-1/2 INCH OD PIPE.
6. TOP AND BOTTOM TENSION WIRE- 7 GAUGE GALVANIZED COIL SPRING WIRE.
7. BRACES TO BE 1 5/8\" SCHEDULE 40 PIPE, ASTM F1043, 30,000 PSI YIELD MINIMUM, HOT DIP GALVANIZED INSIDE AND OUT PER ASTM A120 SPECIFICATION WHICH REQUIRES A MINIMUM AVERAGE OF 1/8 OUNCES PER SQUARE FOOT, WITH PRESSED STEEL CONNECTORS AND FITTINGS.
8. ON SIDES WHERE MORE THAN ONE LINE POST IS USED, EACH BRACE IS TO BE DIAGONALLY TRUSSED, USING A 3/8\" ROUND ROD WITH PRESSED STEEL CONNECTORS AND FITTINGS.
9. TIE WIRES TO BE 12 1/2 GAUGE GALVANIZED STEEL WIRE. HOG RINGS TO BE 12 1/2 GAUGE GALVANIZED STEEL.
10. ALL CONCRETE SHALL BE IN ACCORDANCE WITH ASTM F567.
11. ALL GATES SHALL HAVE TAMPER PROOF GATE HINGES AND HARDWARE.



3 SLOPED ACCESS ROAD
SCALE: N.T.S. VIEW: SECTION



4 ROAD MATERIALS
SCALE: N.T.S. VIEW: SECTION

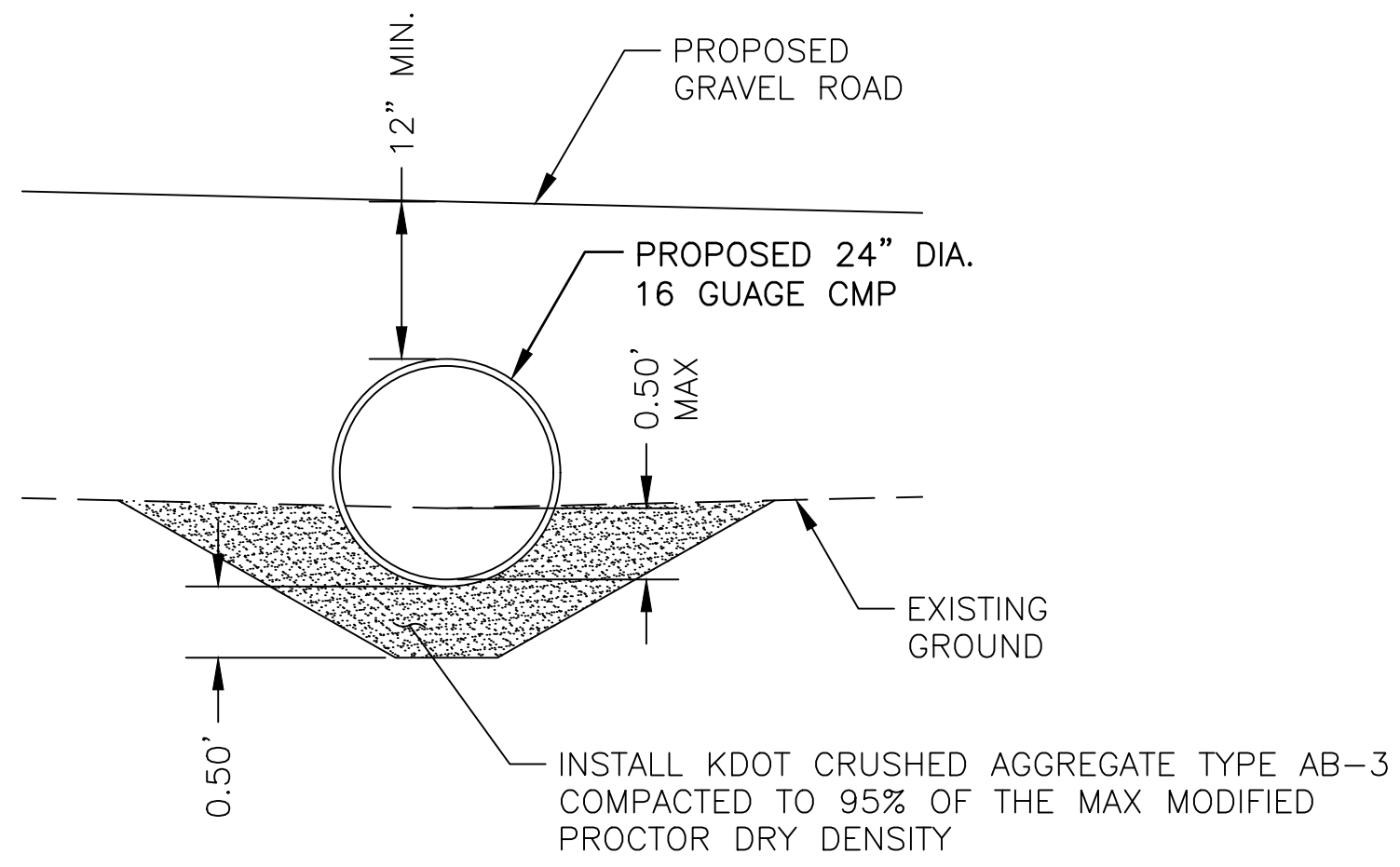
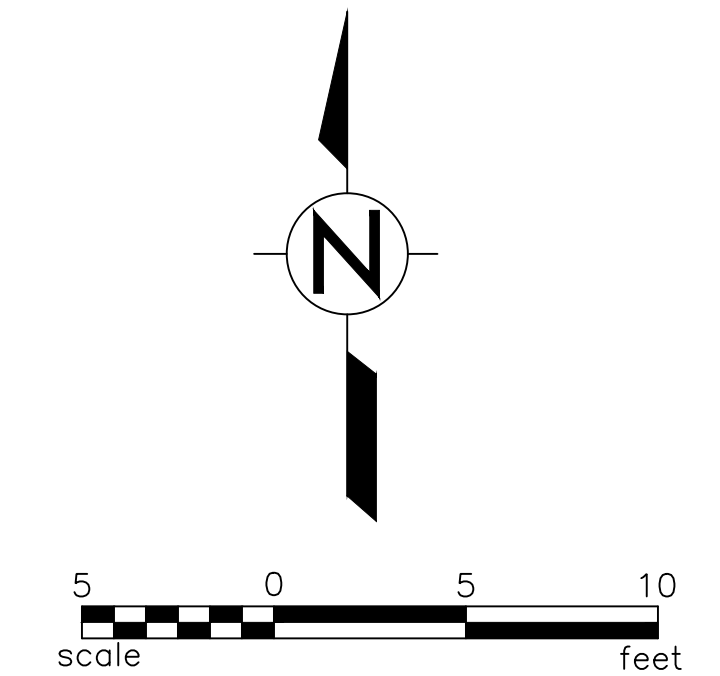
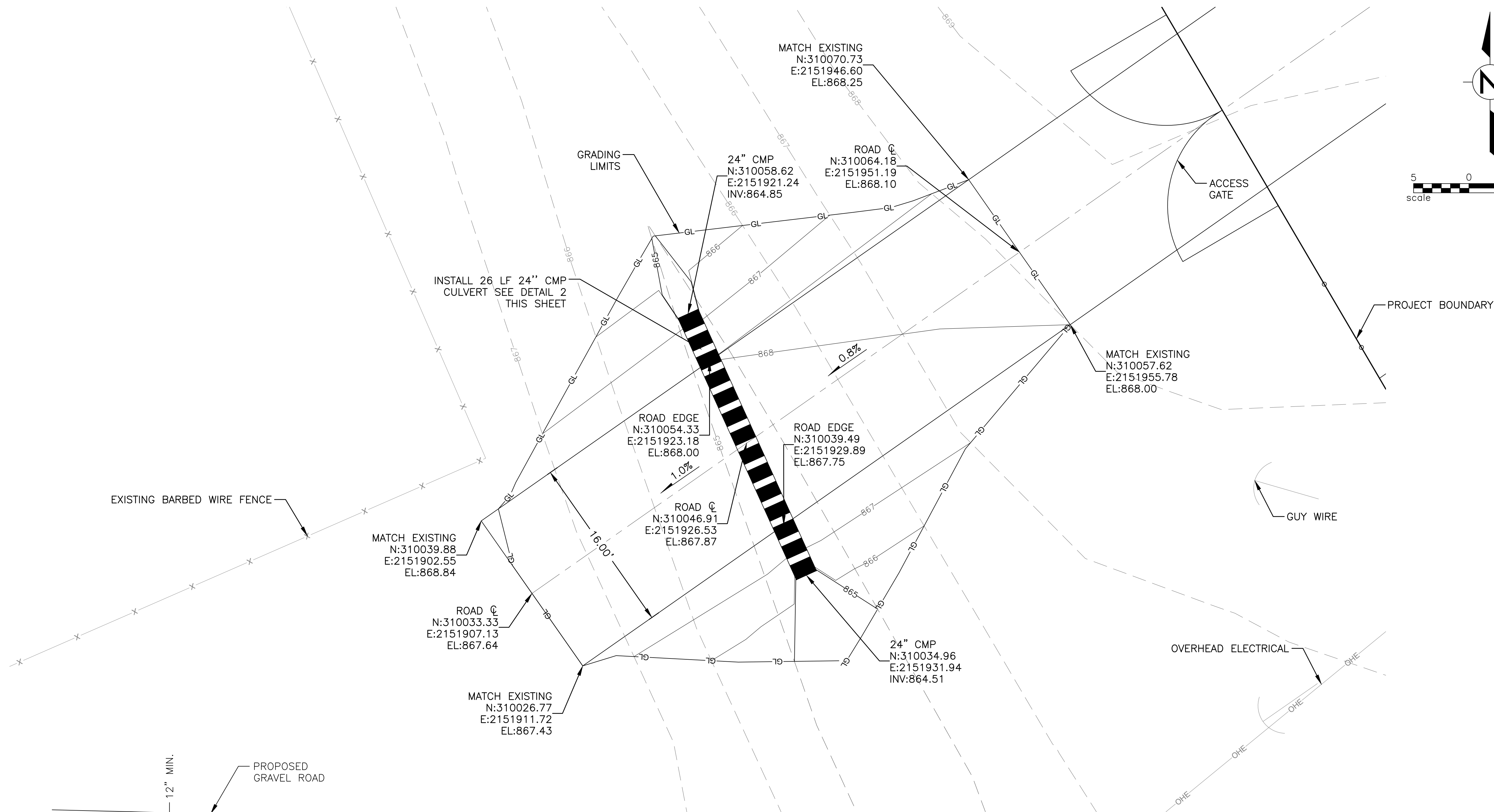
ENGINEER
AZTEC TYP SA
DEVELOPER
Today's Power
CONTRACTOR
Handwritten Signature
S.A. SMITH
LICENSED
27903
KANSAS
PROFESSIONAL ENGINEER
12/18/2020

REV	DATE	DESCRIPTION	DRW	CK	APPV	SAS
0	12/18/20	ISSUED FOR CONSTRUCTION	CRK	MJS		SAS

SCALE: AS SHOWN
SIZE: 22"x34"
PROJECT#: AZENE2043-06

PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
TITLE
ROAD & FENCE DETAILS
SHEET
C08.01
REV
0





1 ENTRANCE DETAIL
SCALE: 1"=5' VIEW: PLAN

2 24" CULVERT: SECTION
SCALE: N.T.S.

REV	DATE	DESCRIPTION	DRW	CK	APV
			CRK	MJS	SAS
0	12/18/20	ISSUED FOR CONSTRUCTION			

SCALE: 1"=5'
SIZE: 22"x34"
PROJECT#: AZENE2043-06

PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
ENTRANCE DETAIL



Dec 17, 2020 - 3:41pm
CKile

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SILT FENCE NOTES:

1. GEOTEXTILE FABRIC SHALL BE A WOVEN OR NONWOVEN SYNTHETIC FIBER FABRIC COMPLYING WITH AASHTO M 288.
2. GEOTEXTILE FABRIC SHALL BE SPLICED TOGETHER WITH A SEWN SEAM ONLY AT A SUPPORT POST, OR TWO SECTIONS OF FENCE MAY BE OVERLAPPED INSTEAD.
3. THE FENCE SHOULD FOLLOW THE CONTOUR OF THE SLOPE TO THE MAXIMUM AMOUNT PRACTICABLE AND HAVE NO DIPS OR LOW AREAS WHERE WATER WILL ACCUMULATE AND POOL. POOLED WATER IS A MAJOR CAUSE OF FAILURE BECAUSE OF THE HIGH PRESSURE IT PLACES ON THE FENCE.
4. ENDS OF THE FENCE SHOULD ALWAYS BE ANGLED UP SLOPE SO WATER CANNOT FLOW AROUND THEM.
5. THE MAXIMUM UP SLOPE GRADE PERPENDICULAR TO THE FENCE LINE SHOULD NOT EXCEED 1:1.
6. INSPECT BMP'S ACCORDING TO NORMAL MAINTENANCE SCHEDULE.
7. INSPECTION SHOULD INCLUDE ENSURING FABRIC IS PROPERLY TRENCHED INTO THE GROUND AND FABRIC IS NOT TORN OR SAGGING.
8. SEDIMENT REMOVAL AND DISPOSAL IS REQUIRED WHEN SEDIMENT COVERS 1/2 OF THE HEIGHT OF THE FENCE.

VEHICLE TRACKING CONTROL NOTES:

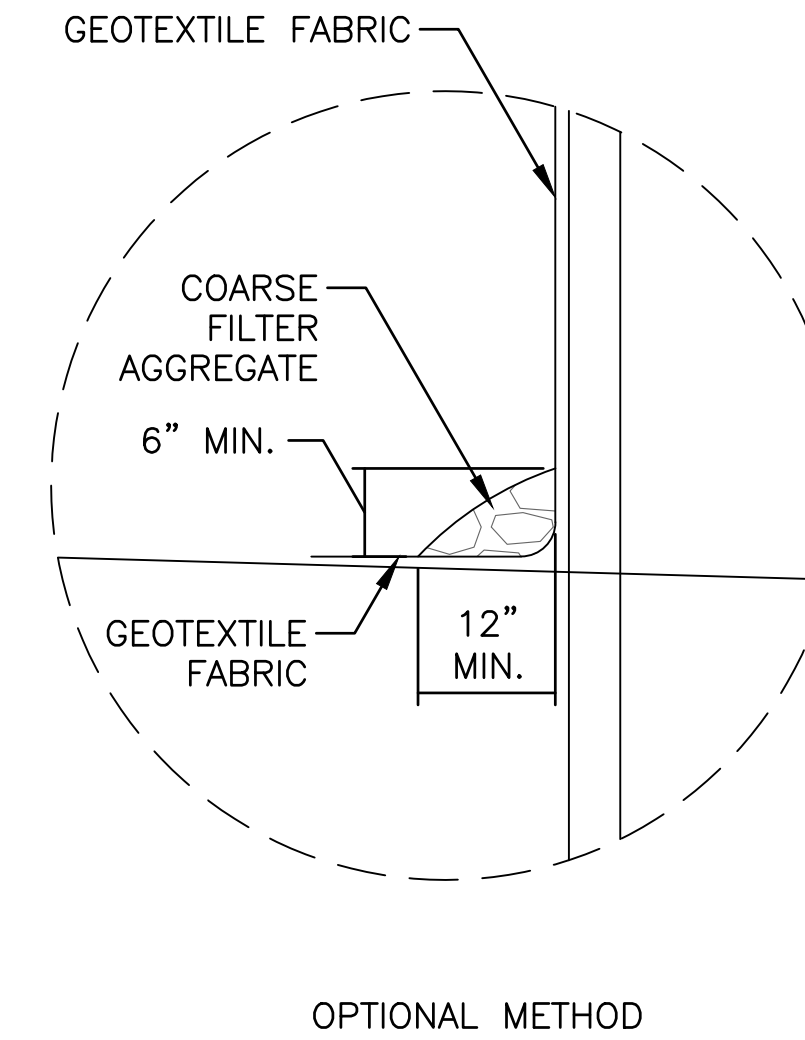
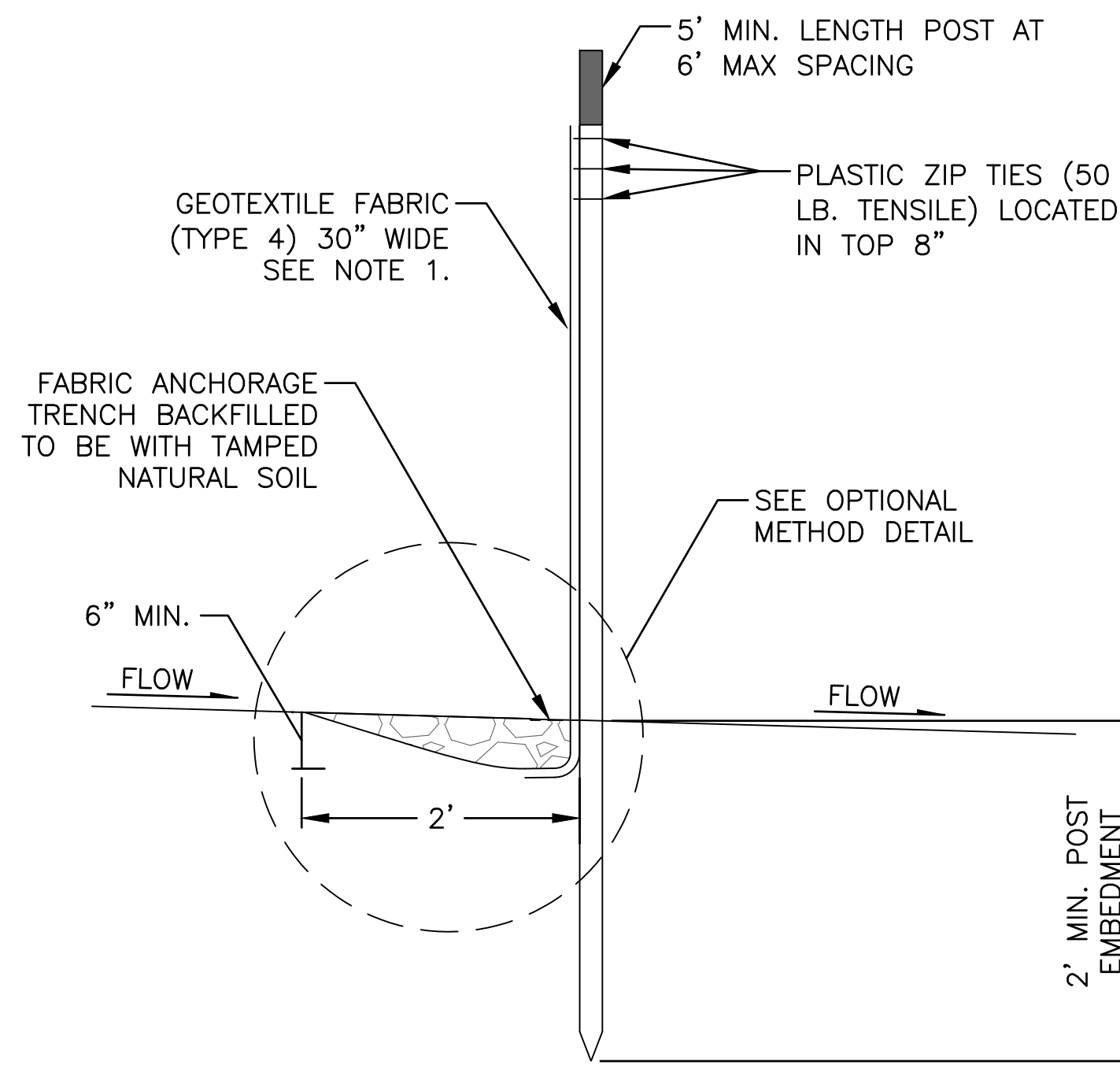
1. MINIMUM LENGTH SHALL BE THE GREATER OF 50 FEET OR A LENGTH SUFFICIENT TO ALLOW A MINIMUM OF 5 TIRE ROTATIONS ON THE PROVIDED PAD. MINIMUM LENGTH SHALL BE CALCULATED USING THE LARGEST TIRE WHICH WILL BE USED IN TYPICAL OPERATIONS.
2. IF A TIRE WASH OFF IS REQUIRED THE CONSTRUCTION EXITS SHALL BE GRADED TO DRAIN THE WASH WATER TO A SEDIMENT TRAP.
3. MAINTENANCE OF CONSTRUCTION EXITS SHALL OCCUR WHEN THE EFFECTIVENESS OF SEDIMENT REMOVAL HAS BEEN REDUCED. MAINTENANCE SHALL CONSIST OF REMOVING SEDIMENT AND CLEANING THE MATERIALS OR PLACING ADDITIONAL MATERIAL OVER SEDIMENT FILLED MATERIAL TO RESTORE EFFECTIVENESS. FILTER CLOTH SHOULD BE USED BELOW COARSE AGGREGATE.

CONCRETE WASHOUT NOTES:

1. PERFORM WASHOUT OF CONCRETE MIXERS, DELIVERY TRUCKS, AND OTHER DELIVERY SYSTEMS IN DESIGNATED AREA ONLY.
2. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERBODIES. EACH FACILITY IS TO BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
3. TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY. A MINIMUM FREE BOARD OR 4 INCHES FOR ABOVE GROUND FACILITIES AND 12 INCHES FOR BELOW GROUND SHALL BE MAINTAINED.
4. WASHOUT MAY BE COLLECTED IN AN IMPERMEABLE BAG OR OTHER IMPERMEABLE CONTAINMENT DEVICES FOR DISPOSAL.
5. ONCE CONCRETE WASTES ARE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN, THE CONCRETE MAY BE BROKEN UP, REMOVED, AND DISPOSED OF.
6. CONCENTRATED RESIDUE FROM SAW CUTTING, CORING, AND GRINDING OPERATIONS WILL BE PICKED UP BY MEANS OF A VACUUM DEVICE. THIS CONCENTRATED RESIDUE IS NOT TO BE ALLOWED TO FLOW ACROSS THE PAVEMENT AND CANNOT BE LEFT ON THE SURFACE OF THE PAVEMENT.

ECO PAN--(OPTIONAL) NOTES:

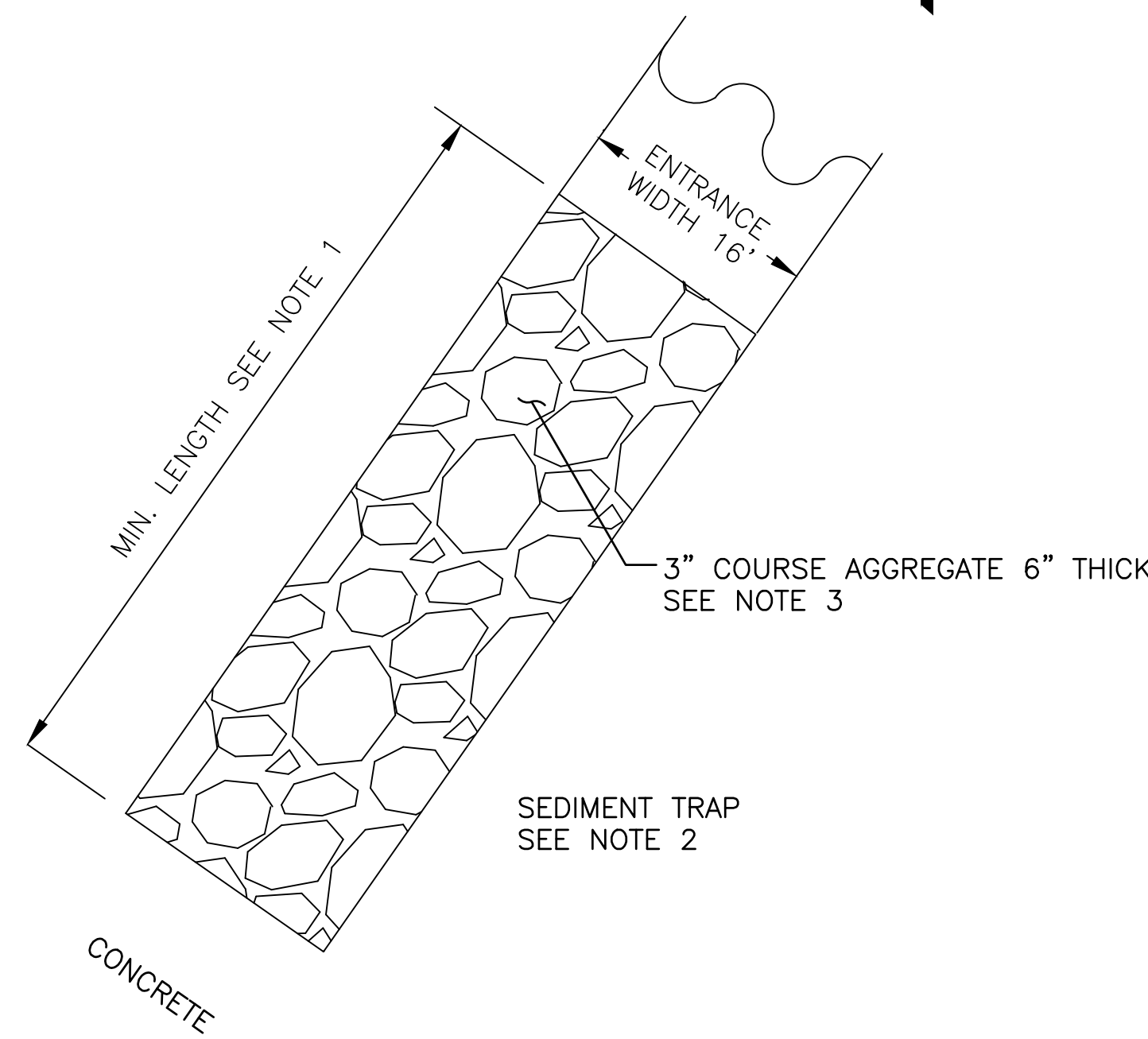
1. ECO-PAN APPLICATION:
CONSTRUCTION PROJECTS WHERE CONCRETE, STUCCO, MORTAR, GROUT AND CEMENT ARE USED AS A CONSTRUCTION MATERIAL OR WHERE CEMENTITIOUS WASTEWATER IS CREATED.
2. ECO-PAN MAINTENANCE:
INSPECT AND CLEAN OUT WHEN 3/4 FULL, NOT ALLOWING THE ECO-PAN TO OVERFLOW. INSPECT WASTEWATER LEVEL AND REQUEST SERVICE, REPLACE WITH EMPTY ECO-PAN, AS NEEDED. INSPECT ECO-PANS TO ENSURE THAT PROPER HOUSEKEEPING IS EMPLOYED WHEN WASHING OUT EQUIPMENT.
3. DESCRIPTION:
A SELF-CONTAINED AND WATERTIGHT ECO-PAN WITH ADDED FORK CHANNELS FOR PORTABILITY CAPTURES AND CONTAINS CONCRETE WASTEWATER AND WASHOUT MATERIAL. OUR ECO-PAN COMES IN TWO SIZES TO ACCOMMODATE EVERY SIZE POUR, 1.5 YARD /3 TON
4. SPECIFICATIONS:
THE ECO-PAN MUST BE PORTABLE AND TEMPORARY, WATERTIGHT, EQUIPPED WITH FORK CHANNELS
SPECIFICATIONS FOR THE 1.5-YARD PAN/3 TON PAN:
• 7FT X 7FT, 14 INCHES DEEP STEEL RECEPTACLE (610 LBS. EMPTY)
• HOLDS APPROXIMATELY 300 GALLONS OR 1.5 YARDS OF CONCRETE.
• SAFELY HOLDS UP TO 4000 POUNDS
• PRIMARILY FOR PUMP TRUCKS, BUT CAN BE USED TO CONTAIN APPROXIMATELY 10 TO 15-MIXER WASHOUTS.



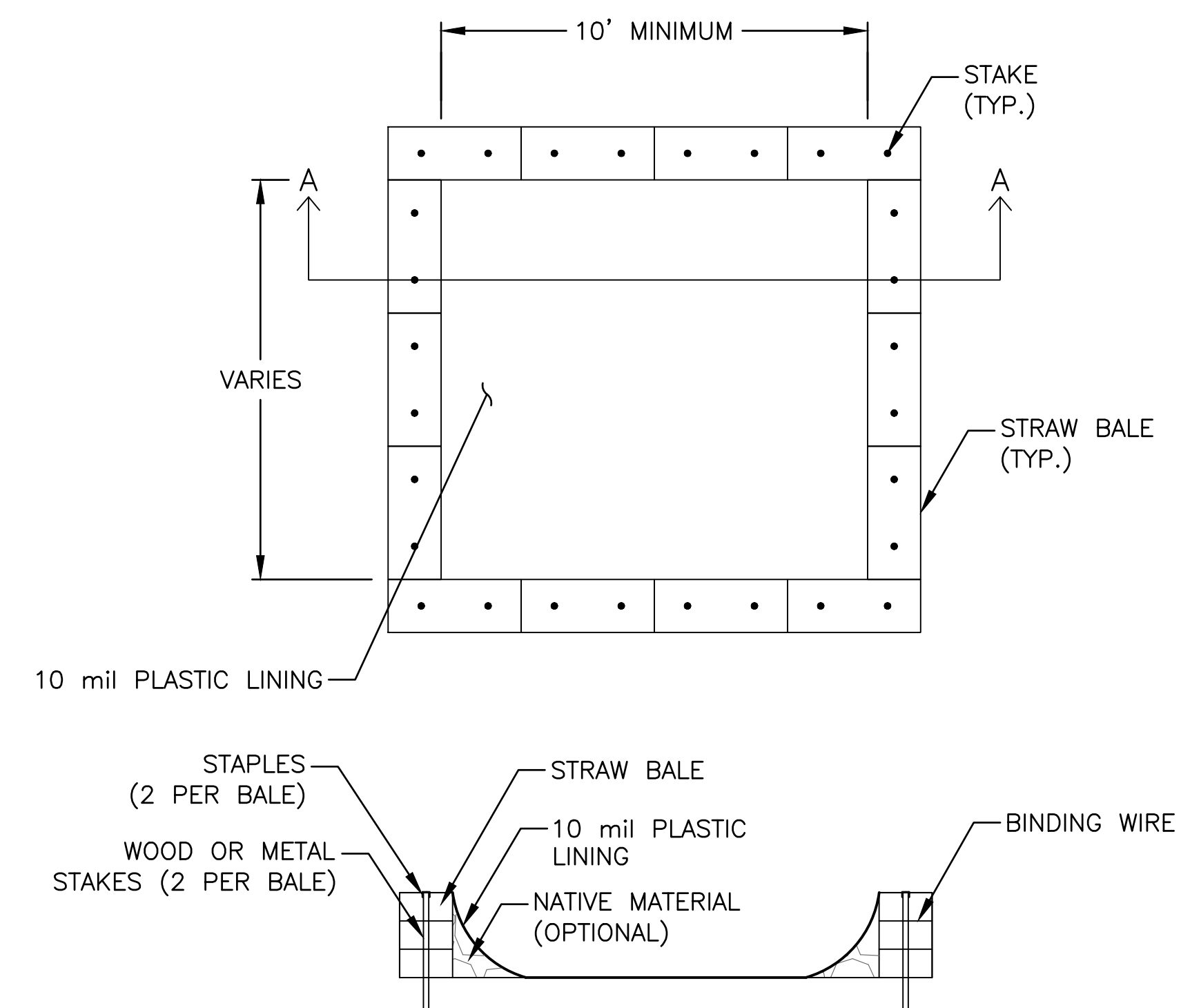
1 SILT FENCE (SF)
SCALE: N.T.S. VIEW: SECTION



ECO PAN--(OPTIONAL)



2 VEHICLE TRACKING CONTROL (VTC)
SCALE: N.T.S. VIEW: PLAN



3 CONCRETE WASHOUT AREA (CWA)
SCALE: N.T.S. VIEW: PLAN & SECTION

ENGINEER



DEVELOPER



CONTRACTOR



REV	DATE	DESCRIPTION	DRW	CK	APV
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SCALE: AS SHOWN
SIZE: 22"x34"
PROJECT#: AZENE2043-06

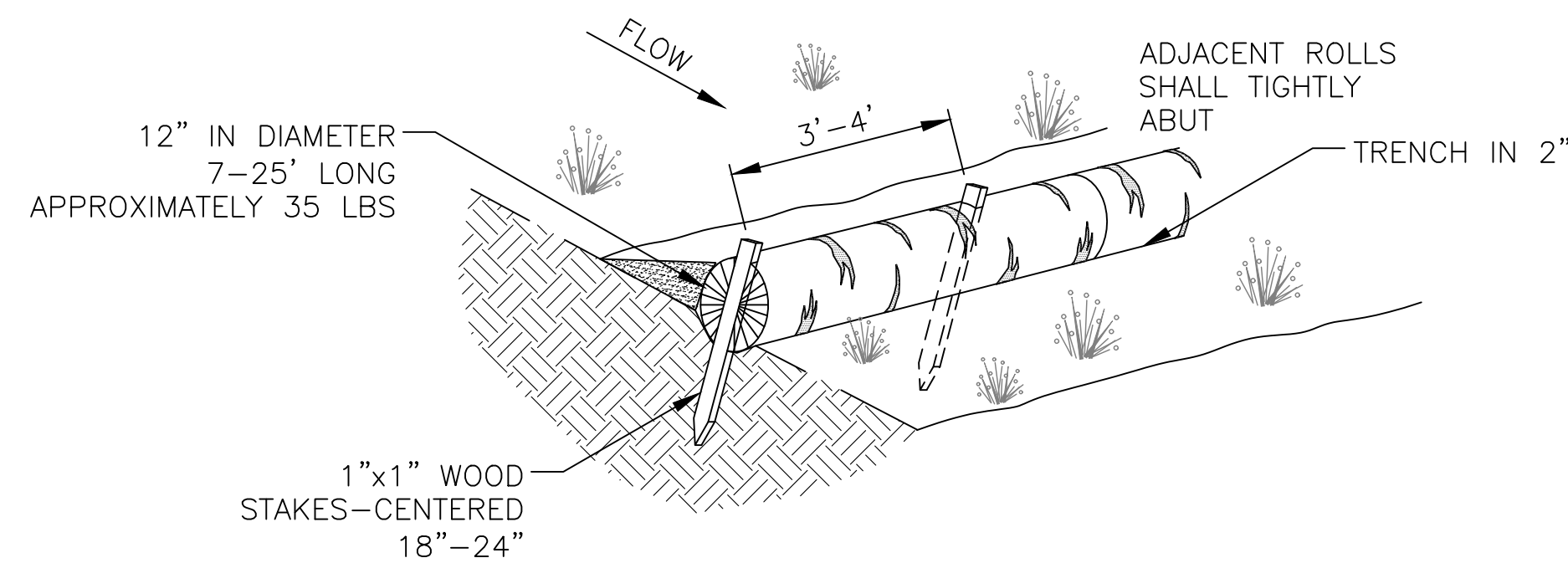
PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
BMP DETAILS 1

SHEET
C08.03

REV
0





1 STRAW WATTLE DETAIL
SCALE: N.T.S.

STRAW WATTLES NOTES:

1. REVIEW STEEPNESS TO DETERMINE NECESSARY SPACING INTERVAL, TRENCH LENGTH, AND MATERIAL NEEDS.
2. LAY OUT CONTOUR INTERVAL ON SLOPE
3. IDENTIFY A SUITABLE SOURCE OF LOCALLY APPROPRIATE VEGETATION. CHOOSE SPECIES APPROPRIATE FOR SOIL TYPE, HABITAT, AND OTHER SPECIFIC SITE CHARACTERISTICS
4. PREPARE DEAD STOUT STAKES 30-36" IN LENGTH BY DIAGONALLY CUTTING 2 X 4S ACROSS THE 4" WIDTH TO MAKE 2 STAKES FROM EACH 2X4
5. PREPARE DEAD STOUT STAKES 4-15" IN DIAMETER, TO DESIRED LENGTH, WITH TAPERED ENDS, BOUND WITH TWINE EVERY 12-18" WIDE ALONG LEVEL CONTOUR, DEEP ENOUGH TO ACCOMMODATE MOST OF THE WATTLE DIAMETER
6. STARTING A SLOPE BASE, HAND DIG TRENCH 12-18" WIDE ALONG LEVEL CONTOUR, DEEP ENOUGH TO ACCOMMODATE MOST OF THE WATTLE
7. PLACE WATTLE IN PREPARE TRENCH
8. DRIVE DEAD STOUT STAKES INTO SLOPE, SPACING THEM 3-4' APART, DIRECTLY THROUGH WATTLE ALONG ITS ENTIRE LENGTH.
9. INSTALL LIVE STAKES BETWEEN DEAD STAKES ON DOWN SLOPES SIDE OF BUNDLE. LEAVE LIVE STAKES PROTRUDING 2-3" ABOVE WATTLES.
10. BACKFILL TRENCH WITH SOIL ALONG SIDE OF WATTLE LEAVING TOP 2-3" OF WATTLE EXPOSED. COMPACT SOIL TO ELIMINATE AIR POCKETS AROUND BURIED WATTLES.
11. MOVE UPSLOPE THE APPROPRIATE CONTOUR INTERVAL DISTANCE, REPEAT PROCEEDING STEPS. REPEAT PROCESS UNTIL REACHING TOP OF SLOPE.
12. MULCH BETWEEN WATTLES, USING MULCH BLANKETS ON SLOPE 1:2 OR STEEPER
13. INSTALLATIONS SHOULD BE INSPECTED DAILY AND PROVISIONS MADE FOR PROMPT REPAIR IF NEEDED. SMALL FAILURES CAN LEAD TO LARGER FAILURES IF LEFT UNATTENDED.
14. PERIODIC PRUNING AND REPLANTING OF STAKE MAY BE REQUIRED TO MAINTAIN HEALTHY AND VIGOROUS VEGETATION GROWTH.

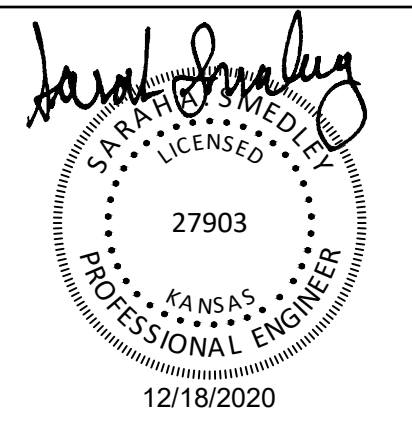
ENGINEER



DEVELOPER



CONTRACTOR



REV	DATE	DESCRIPTION	DRW	CK	APV
			CRK	MJS	SAS
0	12/18/20	ISSUED FOR CONSTRUCTION			

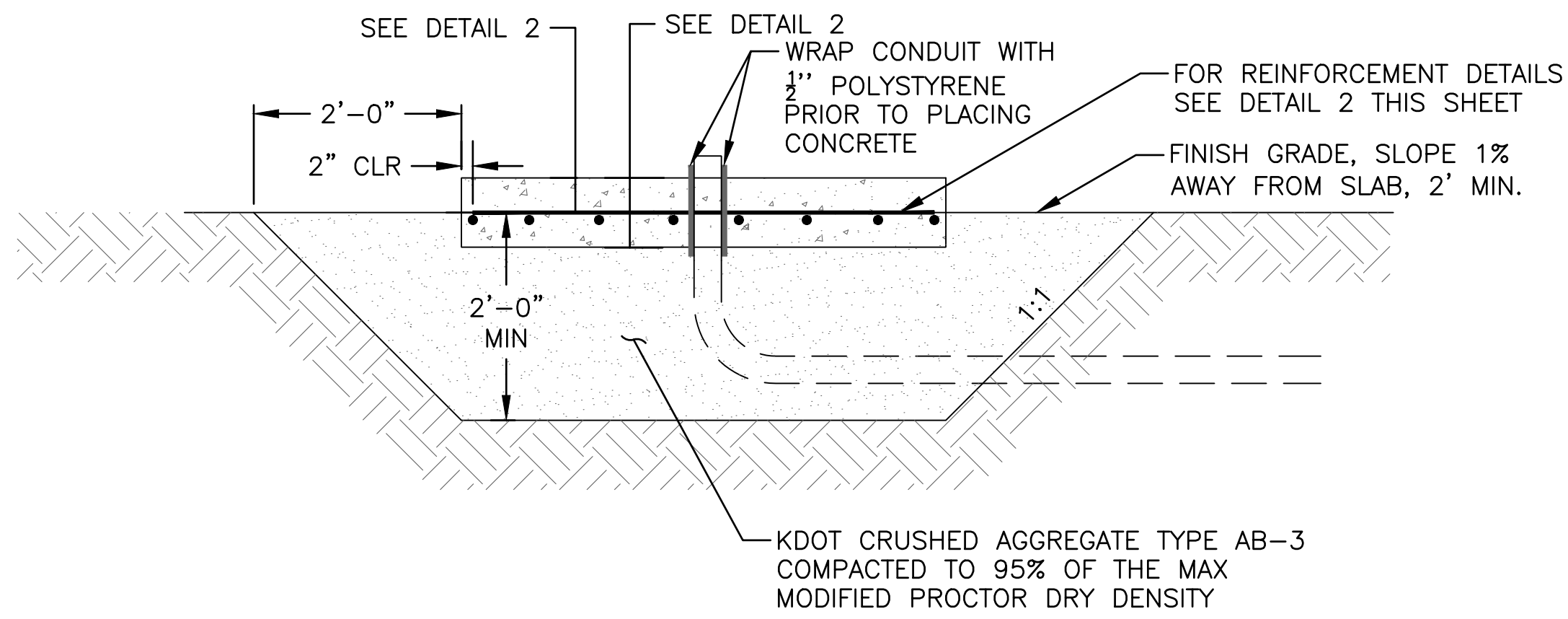
SCALE: AS SHOWN

SIZE: 22"x34"

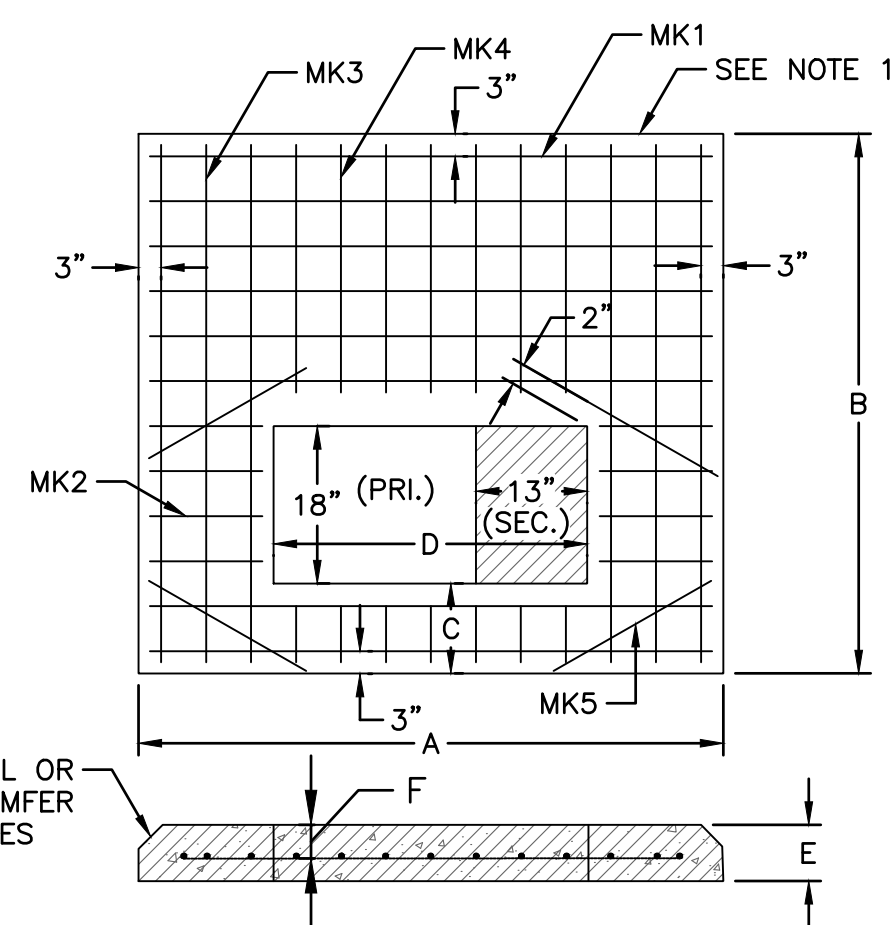
PROJECT#: AZENE2043-06

PROJECT	STRANGER SOLAR LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086
TITLE	BMP DETAILS 2





1 TRANSFORMER PAD FOUNDATION
SCALE: N.T.S. VIEW: SECTION



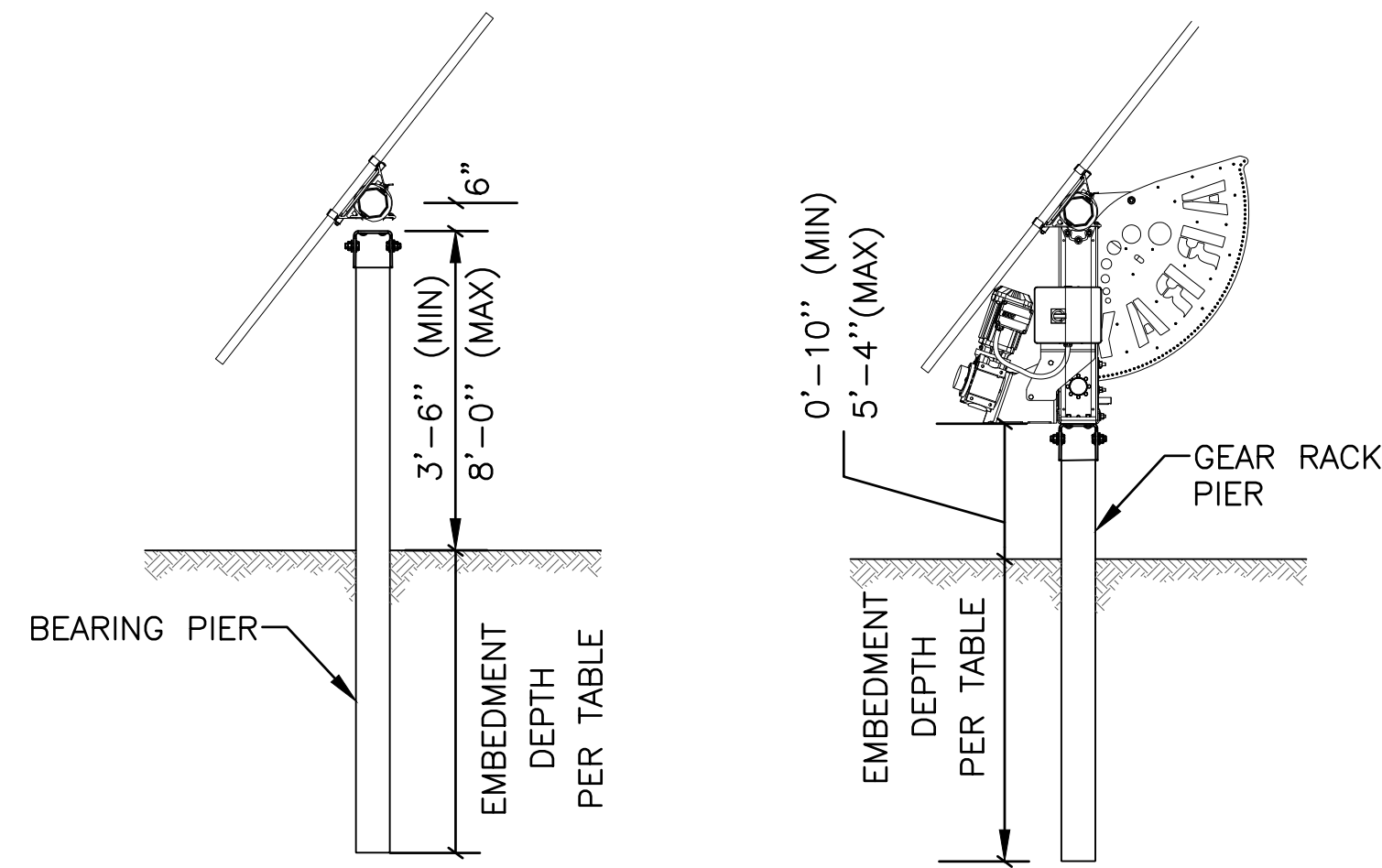
NOTES:

- CONCRETE TESTING, 4500 POUNDS MIN. PER SQUARE INCH; 4% TO 6% ENTRAINED AIR, 3/4" MAXIMUM SIZE AGGREGATE.
- REINFORCING STEEL, ASTM-A615 GRADE 60, PLACE APPROX. 6" O.C. EACH WAY AND SECURELY TIED.
- MINIMUM CONCRETE COVER OVER REINFORCING STEEL 2 INCHES UNLESS NOTED.
- WOOD FLOAT FINISH, LEAVING NO DEPRESSIONS.
- PAD DIMENSION AND REBAR SPACING SHALL BE ADJUSTED TO HANDLE TRANSFORMER SIZE AND WEIGHT.

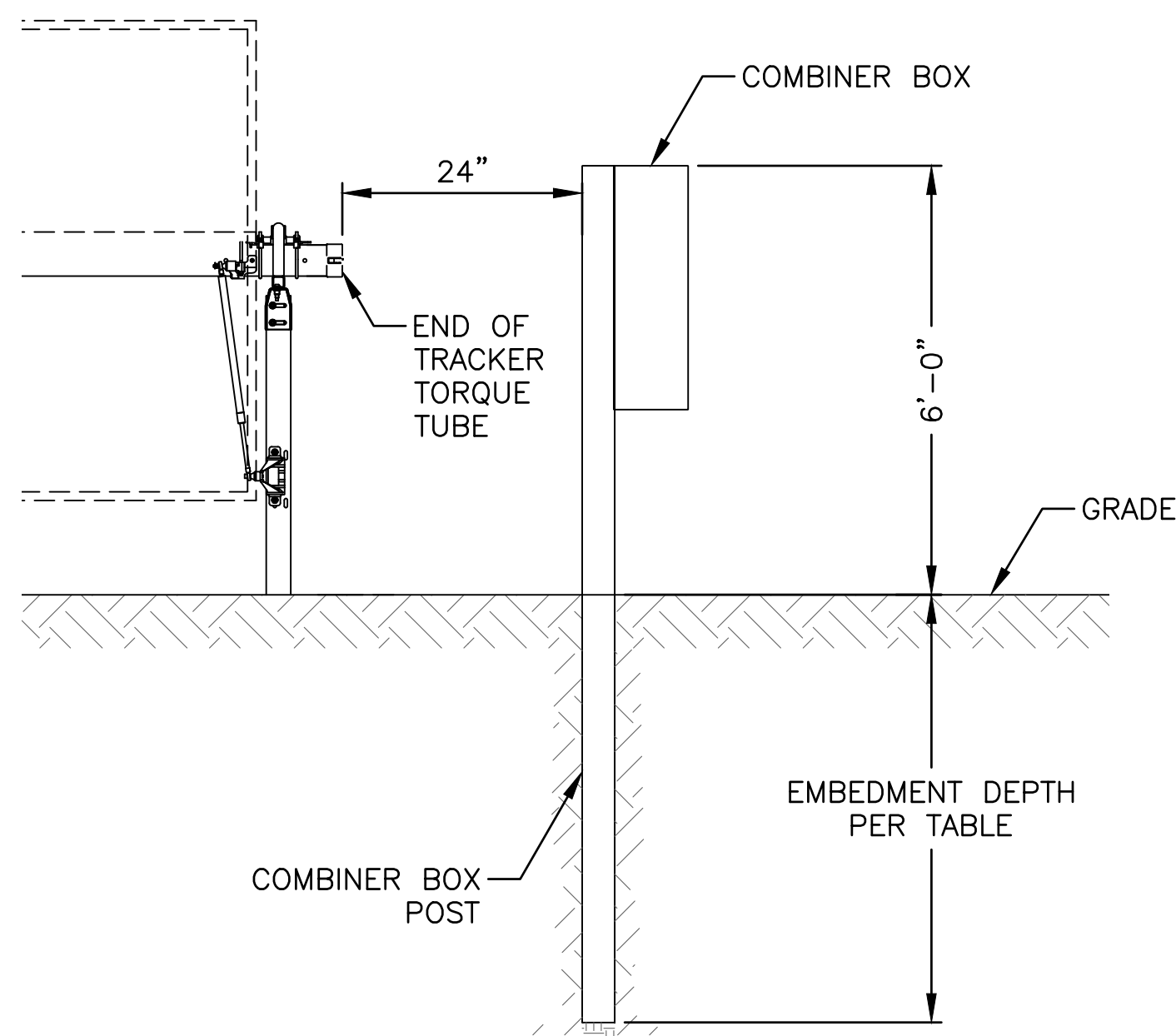
PAD	3-PHASE TRANSF. kVA	DIMENSIONS IN INCHES						REINFORCING BARS				
		A	B	C	D	E	F	MK1	MK2	MK3	MK4	MK5
#1	75, 112, 1/2, 150, 225, 300, 500	76	62	10	42	6	3	7 #4 70"	4 #4 10"	6 #4 57"	6 #4 28"	4 #4 26"
#2	750, 1000, 1500, 2500	104	100	10	54	8	4	12 #4 98"	6 #4 19"	6 #4 94"	7 #4 66"	4 #4 29"

2 TRANSFORMER PAD REINFORCEMENT DETAILS
SCALE: N.T.S. VIEW: PLAN

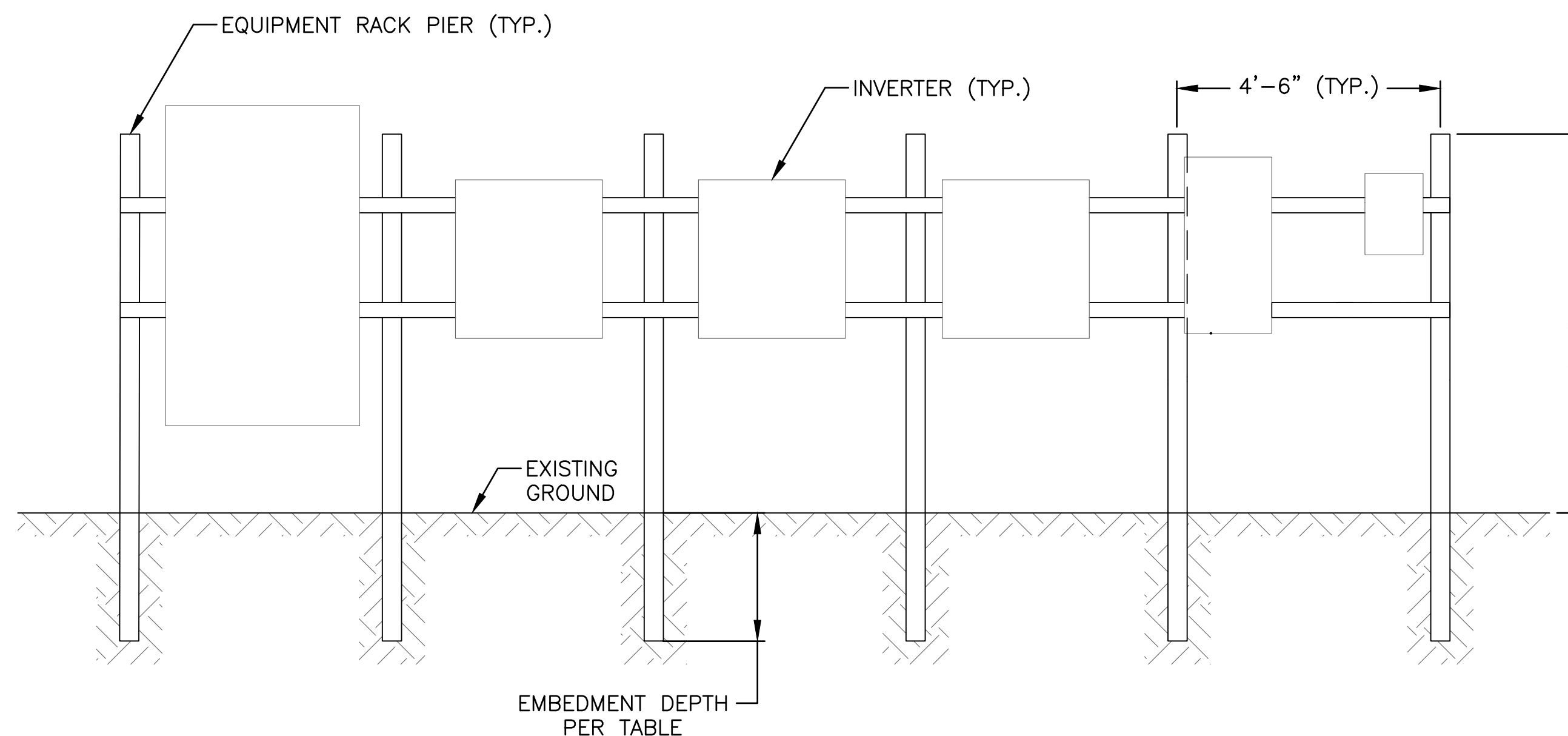
TORQUE TUBE HEIGHT	PIER TYPE	PIER SIZE	EMBEDMENT DEPTH (MIN)
5'-6"	INTERIOR ARRAY PIER	W6x9	7'-3"
	EXTERIOR ARRAY PIER	W6x10.5	7'-9"
7'-0"	INTERIOR ARRAY PIER	W6x10.5	7'-9"
	EXTERIOR ARRAY PIER	W6x12	7'-9"
8'-6"	INTERIOR ARRAY PIER	W6x12	8'-3"
	EXTERIOR ARRAY PIER	W6x15	8'-3"
COMBINER BOX/EQUIPMENT RACK POST		W6x9	6'-0"



3 TRACKER FOUNDATIONS
SCALE: N.T.S. VIEW: ELEVATION



4 COMBINER BOX POST FOUNDATION
SCALE: N.T.S. VIEW: ELEVATION



5 INVERTERS AND EQUIPMENT RACK DETAILS
SCALE: N.T.S. VIEW: WEST ELEVATION

NOTES:

- General
 - These plans include the structural portion of the foundations only.
 - The contractor shall verify all existing elevations and dimensions prior to construction.
 - Details marked "Typical" shall apply in all cases, unless noted otherwise.
 - For foundation location and dimensions and equipment placement, see Civil or Electrical plans.
- Design Specifications
 - Leavenworth County Adopted Building Code
 - 2012 International Building Code (IBC)
 - American Concrete Institute (ACI) 318-11
 - American Institute of Steel Construction 360-10 (AISC)
 - For soil information, see geotechnical report prepared by ATC An Atlas Company project number TC-205783-01-03 dated October 12, 2020.
 - Design Loads
 - Snow Loads
 - Ground Snow Load, PG = 20 psf
 - Wind Loads
 - 3-Second Gust, Vult = 105 mph
 - Risk Category I
 - Exposure Category C
 - Seismic Loads
 - Risk Category I
 - Seismic Importance Factor, IE = 1.00
 - SS = 0.112 g
 - S1 = 0.061 g
 - Site Class D
 - SDS = 0.12 g
 - SD1 = 0.097 g
 - Seismic Design Category A
 - Construction Specification
 - All construction shall conform to the 2012 International Building Code.
- Reinforced Concrete
 - Cement shall be ASTM C 150 Type I or II, or equivalent. The maximum water cementitious ratio shall be 0.40. The concrete shall have total entrained air of 6%, +/- 1.5%. Minimum compression strength shall be 4500 psi at 28 days.
 - Welded wire reinforcing shall conform to the specifications of ASTM A1064.
 - Deformed reinforcing bars shall conform to the specifications of ASTM A615.
 - All reinforcing steel shall have 2 inch clear cover unless noted otherwise.
 - Chamfer all exposed corners 3/4 inch unless noted otherwise.
 - Top surface to have float finish or light broom finish.
 - Slab Tolerance: max 1/8" in 6' non-cumulative.
 - Precast concrete foundations are an acceptable alternative to the cast-in-place foundations shown. Contractor shall submit manufacturer details to the Engineer for review and approval.
- Equipment Anchors
 - Equipment shall be secured to the concrete pad by means of post-installed anchors. Either adhesive or expansion anchors may be used.
 - The mounting holes on the equipment frame shall be used as a template to accurately locate the anchors.
 - The anchors shall be 1/2" diameter nominal (minimum) and shall be embedded in the concrete a minimum of 4 inches. The anchors shall be able to develop a nominal tension capacity of 1000 lbs and a nominal shear capacity of 1000 lbs.
 - Anchors shall be installed per manufacturer's instructions. Washer plates shall be placed under the anchor head in order to completely cover the mounting hole in the equipment frame if the anchor head cannot completely cover the mounting hole.



REV	DATE	DESCRIPTION	DRW	CK	APV
			CRK	M/S	SAS
0	12/18/20	ISSUED FOR CONSTRUCTION			

SCALE: N.T.S.
SIZE: 22"x34"
PROJECT#: AZENE2043-06

PROJECT
STRANGER SOLAR
LEAVENWORTH COUNTY ROAD 5, TONGANOXIE, KANSAS 66086

TITLE
STRUCTURAL DETAILS



Case No. DEV-20-149
Rezoning
*****Public Hearing Required*****

Staff Report – Planning Commission

February 10, 2021

GENERAL INFORMATION:

**Applicant/
Property Owner:** David & Elizabeth McCall
16421 McIntyre Road
Leavenworth, KS 66048

Legal Description: A tract of land in the Northeast Quarter of Section 4, Township 10 South, Range 22 East of the 6th P.M. in Leavenworth County, Kansas.

Parcel Size: ± 42.8 acres

Zoning/Land Use: RR-5, Rural Residential 5-acre minimum size parcels

Comprehensive Plan: This parcel is within the Residential (3 Units/Acre) land use category.

Parcel ID No.: 152-04-0-00-00-001.02

Planner: Jared Clements

REPORT:

Request

The applicant is requesting to rezone a parcel of land from RR-5 to RR-2.5.

Adjacent Land Use

The surrounding properties are residences and farms on varying sized parcels ranging from 1 acre to over 140 acres in size.

Flood Plain

There are 5.5 acres of Special Flood Hazard Areas on this parcel, specifically on the southern half of this parcel, per FEMA Firm Map 201030250G July 16, 2015.

Utilities/Services

Sewer: Private septic system
Fire: Fire District #1
Water: RWD #8
Electric: Freestate Electric

Access/Streets

The property is accessed by McIntyre Road. This road is a County Road with a gravel surface ± 22' wide.

Agency Comments

See attached comments – Email – Mitch Pleak – Public Works, January 4, 2021
See attached comments – Email – David Van Parys – County Counselor, January 4, 2021
See attached comments – Email – Amanda Tarwater – Freestate Electric utility, December 31, 2020
See attached comments – Email – Becky Fousek – Rural Water District 8, January 2, 2021

Factors to be considered

The following factors are to be considered by the Planning Commission and the Board of County Commission when approving or disapproving this Rezoning request:

1. Character of the neighborhood: The character of the neighborhood is rural; agricultural uses and rural residences.
2. Zoning and uses of nearby property: The surrounding properties are zoned RR-5, Rural Residential 5-acre minimum size parcels. The uses are rural residences and agricultural use. The property is ½ mile from current RR-2.5 zoning surrounding the City of Lansing.
3. Suitability of the property for the uses to which it has been restricted: The property is within an area which is appropriate for rural residence and agricultural uses.
4. Extent to which removal of the restrictions will detrimentally affect nearby property: The area will not likely be detrimentally affected. The area is suited for rural residential uses which includes single family homes on 2.5 acres of land.
5. Length of time the property has been vacant as zoned: The property is not vacant.
6. Relative gain to economic development, public health, safety and welfare: The proposed rezoning will allow the property owners to divide their property more favorably, ensuring 40+ acres remain as agricultural land and placing their home on a separate parcel.
7. Conformance to the Comprehensive Plan: The Future Land Use Map indicates this area as Residential, which would allow for up to 3 units per acre. The applicants are seeking to split their home from agricultural land, and so the zoning they are requesting has less potential for developmental intensity than if they were to match the Future Land Use map.
8. Staff recommendation is for the approval of the rezoning request.

Staff Comments

The applicants in this case are seeking to perform a tract split to separate their home from their 40 acres of agricultural land, subject to the approval or denial of this rezoning request. They own approximately 42.8 acres, meaning a tract split under the current zoning would capture a section of their agricultural land.

This parcel is within the Residential land use category of the Future Land Use map, which allows for up to 3 units per acre. Though their proposal is for a less-intense RR-2.5 zoning, staff is supportive of the request due to the absence of sanitary sewer connection in the area (which would be required for 3 unit/acre development).

STAFF RECOMMENDATION:

The staff recommends approval of Case No.DEV-20-149, Rezoning from RR-5 to RR-2.5.

ACTION OPTIONS:

1. Recommend approval of Case No. DEV-20-149, Rezoning from RR-5 to RR-2.5., to the Board of County Commission, with Findings of Fact, or
2. Recommend denial of Case No. DEV-20-149, Rezoning from RR-5 to RR-2.5., to the Board of County Commission, with Findings of Fact; or
3. Continue the Public hearing to another date, time, and place.

ATTACHMENTS:

Narrative
Location/Aerial Maps
Memorandums

20-20-149

152-04

1.02

REZONING APPLICATION

Leavenworth County Planning Department
300 Walnut, St., Suite 212
County Courthouse
Leavenworth, Kansas 66048
913-684-0465

Office Use Only	
PID: _____	Date Received: <u>12/23/20</u>
Township _____	
Planning Commission Date: _____	
Case No. _____	Date Paid <u>12/23/20</u>
Zoning District _____	
Comprehensive Plan land use designation _____	

APPLICANT/AGENT INFORMATION	OWNER INFORMATION (If different)
NAME <u>Joe Herring</u>	NAME <u>David & Beth McCall</u>
ADDRESS <u>315 North 5th Street</u>	ADDRESS <u>16421 McIntyre Road</u>
CITY/ST/ZIP <u>Leavenworth, KS 66048</u>	CITY/ST/ZIP <u>Leavenworth, KS 66048</u>
PHONE <u>913-651-3858</u>	PHONE <u>N/A</u>
EMAIL <u>herringsurveying@outlook.com</u>	EMAIL <u>N/A</u>
CONTACT PERSON <u>Joe Herring</u>	CONTACT PERSON <u>Joe Herring</u>

PROPOSED USE INFORMATION
Proposed Land Use <u>Rural Residential and AG</u>
Reason for Requesting Rezoning <u>Allow the division of the homestead on a tract less than 3 acres and keeping the remaining farm ground at 40 acres or more - will match new comp plan</u>

PROPERTY INFORMATION
Address of Property <u>16421 McIntyre Road</u>
Parcel Size <u>43</u>
Current use of the property <u>Rural Residential and AG</u>
Present Improvements or structures <u>House and Barn</u>

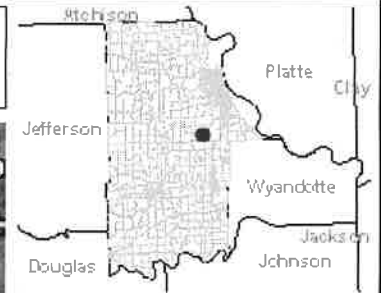
I, the undersigned am the (*owner*), (*duly authorized agent*), (*Circle One*) of the aforementioned property situated in the unincorporated portion of Leavenworth County, Kansas. By execution of my signature, I do hereby officially apply for rezoning as indicated above.

Signature Joseph A. Herring Date 12/23/2020

Digitally signed by: Joseph A. Herring
DN: CN = Joseph A. Herring C = AD
Date: 2020.12.23 09:51:49 -0500


ATTACHMENT A

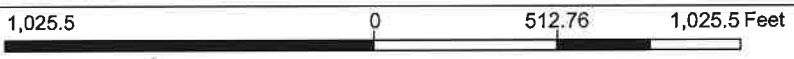
Leavenworth County, KS



Legend

- Parcel Number
- Parcel
- ⊞ City Limit Line
- Major Road
- ≡ <all other values>
- ≡ 70
- Road
- + Railroad
- Section
- Section Boundaries
- County Boundary

1 in. = 513ft. 



This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

From: [Van Parys, David](#)
Sent: Monday, January 4, 2021 8:12 AM
To: [Clements, Jared](#)
Subject: RE: DEV-20-149 McCall Rezone

Jared, No apparent legal concerns.

From: Clements, Jared
Sent: Thursday, December 31, 2020 1:54 PM
To: Magaha, Chuck ; Van Parys, David ; Thorne, Eric ; Miller, Jamie ; Anderson, Lauren ; 'mpleak@olsson.com' ; Anderson, Kyle ; 'Rural Water' ; Amanda.holloway@freestate.coop; firedistrict1@fd1lv.org
Subject: DEV-20-149 McCall Rezone

The Department of Planning and Zoning has received a rezoning application for a property on McIntyre Road. The property is currently zone RR-5 and the proposed zoning is RR-2.5

The Planning Staff would appreciate your written input in consideration of the above request. Please review the attached information and forward any comments to us by January 7, 2021.

If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048
(913)684-0465

From: [Amanda Tarwater](#)
Sent: Thursday, December 31, 2020 2:01 PM
To: [Clements, Jared](#)
Subject: Re: DEV-20-149 McCall Rezone

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

FreeState Electric has no objection to this request.

Thank you,

Amanda Tarwater
Member Account Coordinator



1-800-794-1989 | www.freestate.coop

From: "Clements, Jared"
Date: Thursday, December 31, 2020 at 1:54 PM
To: "Magaha, Chuck" , "Van Parys, David" , "Thorne, Eric" , "Miller, Jamie" , "Anderson, Lauren" , "mpleak@olsson.com" , "Anderson, Kyle" , 'Rural Water' , Amanda Tarwater , "firedistrict1@fd1lv.org"
Subject: DEV-20-149 McCall Rezone

Warning: This message originated outside of the FEC organization. Do not click links or open attachments unless you have validated the sender and know the content is safe. <="" span="">

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Thank you,

Jared Clements
Planner II
Leavenworth County Planning and Zoning
300 Walnut St. Ste. 212
Leavenworth, KS 66048

From: [Mitch Pleak](#)
Sent: Monday, January 4, 2021 4:16 PM
To: [Clements, Jared](#)
Cc: [Anderson, Lauren](#); [Noll, Bill](#); [019-2831](#)
Subject: RE: DEV-20-149 McCall Rezone

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Jared,
Lauren and I have reviewed the application. It is assumed the Planning and Zoning will verify the tract size is coordination with the comprehensive plan as stated in the application. PW has no comments towards the application.

Sincerely,

Mitch Pleak, PE

Project Engineer / Civil

D 913.748.2503

7301 W. 133rd Street, Suite 200
Overland Park, KS 66213
O 913.381.1170



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[View Legal Disclaimer](#)

From: Clements, Jared
Sent: Thursday, December 31, 2020 1:54 PM
To: Magaha, Chuck ; Van Parys, David ; Thorne, Eric ; Miller, Jamie ; Anderson, Lauren ; Mitch Pleak ; Anderson, Kyle ; 'Rural Water' ; Amanda.holloway@freestate.coop; firedistrict1@fd1lv.org
Subject: DEV-20-149 McCall Rezone

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If you have any questions or need additional information, please contact me at (913) 684-0465 or at JClements@LeavenworthCounty.Gov

Thank you,

Jared Clements
Planner II

From: [Rural Water](#)
Sent: Saturday, January 2, 2021 11:54 AM
To: [Clements, Jared](#)
Subject: RWD#8 RE: Dev-20-149 McCall

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Mr. Clements:

RWD#8 provides water service to 16421 McIntyre Road with a 2" water line. The account is in good standing with the RWD#8.

--

Becky Fousek

Office Manager

Rural Water District #8-LV CO

From: [Pete Barrett](#)
Sent: Tuesday, February 2, 2021 9:19 PM
To: jclemnents@leavenworthcounty.gov; PZ;
jculbertson@leavenworthcounty.gov; vkazz@leavenworthcounty.gov;
Smith, Doug; Smith, Michael; Stieben, Mike
Cc: [Pete Barrett](#)
Subject: Opposition to rezone of parcel from R5 to R2.5

Notice: This email originated from outside this organization. Do not click on links or open attachments unless you trust the sender and know the content is safe.

Dear Leavenworth County Commissioners -

Very respectfully, I opposed my neighbors desire to rezone their property (16421 McIntyre Road - 66048) from R5 to R2.5. I only found out last weekend of the hearing scheduled for 2-10-21 and was shocked. The petition era themselves on many occasions have told me directly that they do not want to encourage growth on their land by breaking it into smaller pieces. This movement by the petitioners is not for growth, it is simply for greed.

I am adamantly opposed to their proposal, application DEV-20-149. I would like to provide a couple reasons it would be a bad idea to approve this proposal.

First, I contend that approving this would set a dangerous precedent for the county. If this is approved, what would keep the other established land owners from having a residential neighbors and all the "trouble" associated with uncontrolled growth built right next to their cow paster, corn field, or been field? As shown by Windam Hills and Rock Creek and other places in the county where Urban meets rural, there is a significant clash of life styles. Not only are the crops at risk from the new neighbors ignorance, we also see that residents just help themselves to Trespassing and inadvertently littering on crop/pasture land. On two occasions, the farmer attended the HOA board meeting at Windam Hills to discuss how throwing yard waste and clippings over the fence for the cows to eat was NOT giving them a treat. In fact, this was dangerous to his cows because of the high concentration of fertilizers, insecticides, and weed control poisons in the clippings. This activity continued after the plead as a high turn over rate of reality is the norm in this area. In addition, his pastures and corn field became places for the residents to hit their golf balls for fun. A residential free driving range without consequence. Who would pay for a cow that eats one and dies? No neighbors are good neighbors as fences fail. If approved, would it be reasonable to determine that annexation by the City of Lansing would not be far behind? In addition, these fields are always subject of trespassing at night for nefarious activities.

Secondly, what environmental impact are the petitioners prepared to address prior to their petition? More residents means more waste and more unwanted waste will end up on other property. As it is, littering is a rampant activity as you look in our drainage ditches. I suspect that there will not be ANY enforcement of littering laws on our new road, so I expect the new road and approval of the petitioners proposal to have a negative impact as well.

Third, prior to us moving to this location in 2010, **the proposers brother (Curtis McCall)** tried to get his land (52 total acres) re-zoned so he could break it up. He was denied due to lack of road frontage/irregular tract. However, I know that a specific local Real Estate agent was pushing him to file so he could get MORE \$. Now I have invested heavily into this 52 acres and will loose all my efforts building a cattle farm from scratch if approved. Ironically, the petitioners for the rezone asked my wife and I if we planned to break up this land when we purchased. We said no and they were relieved. I will be direct, I submit that the petitioners are doing this for their own benefit and have a double standard. They and WILL do anything they can for one reason... MONEY. I am a civil man and realize that I myself am not everyones cup of tea. So, I just want to be a good neighbor and leave them alone so they can leave me alone. However, allowing them to parcel their land out will prove to be just the beginning of their greedy movement. We had to buy our land in accordance with the county rules and regulations, they should be under the same obligation (if not more) as they have already allowed a family into their residence in anticipation of approval of their petition. My neighbors are sneaky and I do not trust them as they only care about themselves. Their family record proves it.

Third, the services (to include water and electricity) and protection for Fire and Police are not in place at this time. My wife and I had to wait for emergency services on McIntyre road of about 25 minutes when we were coming home from the LV County Fair. On evening. As we pulled our cows towards our home, we noticed a car stopped in the middle of the road. The occupants had **passed out with the car in drive** and the **radio blaring**. After dialing 911, thinking they were dead, I woke them trying to check for their pulse, they were not happy. The ambulance arrived before the Police. It was just me and my wife trying to do the right thing. Anything could have happened while we waited. It was 3 on two and drugs were involved.

Fourth, even though the road is now paved, it is more dangerous than ever to be on. Due to drivers speed and the narrowness of the road, I do not walk or ride my bike on the newly paved surface. I actually take extra precautions checking the mail. As it is now, someone is going to get **killed on this road**. The one sure way to mitigate this potential is to keep the traffic down. Allow more families on this road with conjest it further and exponentially increase the potential for serious crashes. The first mistake was to pave it and not widen it. The road was half ass done if the commission is wanting to rezone these tracts. Are the approvers of the road going to take responsibility for knowingly paving a road improperly to expedite expansion?

In conclusion - granting this rezone petition will enable the proposers, the proposers family and others to my due east to parcel out the land without taking responsibility for rapid expansion and lack of planning. Granting this proposal will cause a chain reaction through out the county. It will also create unnecessary conflict amongst county citizen. The infrastructure is NOT in place at this time to start actively encouraging growth by rezoning. We are in a pandemic that has redefined our country and our county. Many have been laid off. Many are sent home from work and have to work remote. Some effects of the new normal are accentuated due to the fact that intern services

are not in place in the county, We don't even have reliable internet service for our children to ZOOM into class. Everything out here has been kept simple and quiet because of the actual petitioners desire NOT to have neighbors. `

Rezoning make no sense and is fueled by the petitioners greed. Please do not approve this proposal.

My email and phone number is below if you need clarification or would like to discuss my families position further. I would also like to be present during the hearing. Please let me the new COVID protocol for attendance.

Pete Barrett

Stay Motivated

913-240-2007

petebarrett55@gmail.com